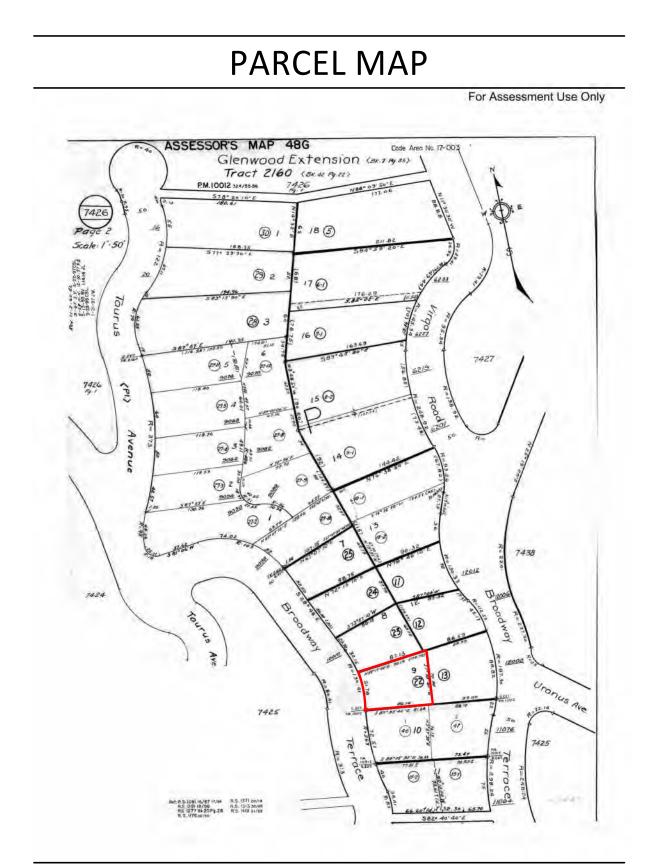
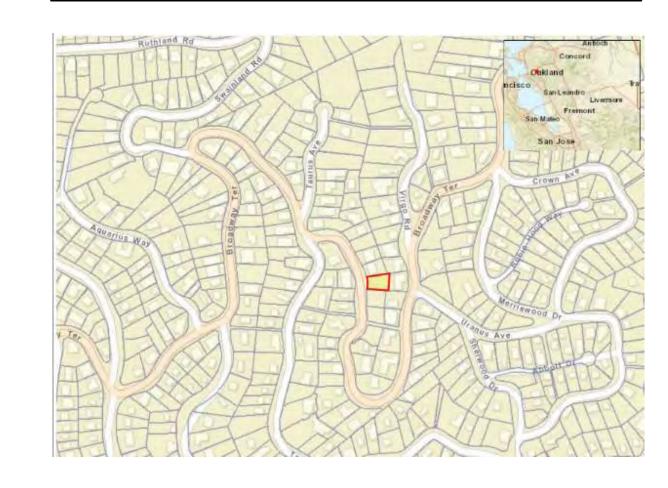
## NEW SINGLE FAMILY HOME IN THE MERRIEWOOD NEIGHBORHOOD

10040 (ASSUMED) BROADWAY TERRACE, OAKLAND, CA 94612



#### PROJECT LOCATION



#### DRAWING INDEX

A0.1	PROJECT INFORMATION, SITE PLAN
A0.2	CONTEXTUAL PLANS + PHOTOS
400	

SURVEY

GREEN POINT RATING CHECKLIST CIVIL COVER PLAN

C0.2 EROSION CONTROL AND DEMOLITION PLAN

POLLUTION PREVENTION PLAN

GRADING AND DRAINAGE PLAN

CUT AND FILL PLAN

UTILITY PLAN

**GROUND FLOOR PLAN** A1.1

SECOND FLOOR PLAN THIRD FLOOR PLAN A1.3

**ROOF PLAN** A1.4

**BUILDING ELEVATIONS BUILDING SECTIONS** 

A3.1 SHADOW STUDY

LANDSCAPE PLAN L1.0

SHEET TOTAL: 18

#### PROJECT INFORMATION

#### **PROJECT INFORMATION**

SITE LOCATION 10040 (ASSUMED) BROADWAY TER. OAKLAND, CA 94612

**ZONING DISTRICT** 

48G-7426-22

**LOT AREA** 5,963 SF

RH-4/S-9

VERY HIGH FIRE HAZARD SEVERITY ZONE OVERLAY -EXTERIOR MATERIALS MUST BE

SINGLE FAMILY RESIDENTIAL

CONSTRUCTION

TYPE V WOOD FRAME

OCCUPANCY TYPE

WITH SPRINKLERS

#### **PROJECT DESCRIPTION**

NEW 2,970 SQ.FT. SINGLE FAMILY RESIDENCE ON UPSLOPE LOT WITH 3 BEDROOMS 3 BATHROOMS ON UPPER FLOORS, AND A TWO-CAR GARAGE ON GROUND LEVEL.

Interior Side: 5' MIN. Street Side: 5' MIN.

#### **BUILDING DENSITY AND HEIGHT**

FAR: 0.5 MAX. - 0.50 PROPOSED Lot Coverage: 40% MAX. - 25.0% PROPOSED

**UPSLOPE LOT FOOTPRINT SLOPE = 48%:** Maximum Wall Height Primary Building:

Maximum Height Above the Ground Elevation at the Rear Setback Line: 24'
Maximum Height from Finished or Existing Grade Within 20' of the Front Property Line: 24'

#### PARKING REQUIREMENT

2 Spaces/ Dwelling Unit

#### **BUILDING AREA**

LEVEL 1	903 SF
LEVEL 2	1,019 SF
LEVEL 3	1,048 SF
TOTAL	2,970 SF

#### **IMPERVIOUS COVERAGE**

1,490 SF (ROOF+PATIO)

#### **DRAWING NOTE**

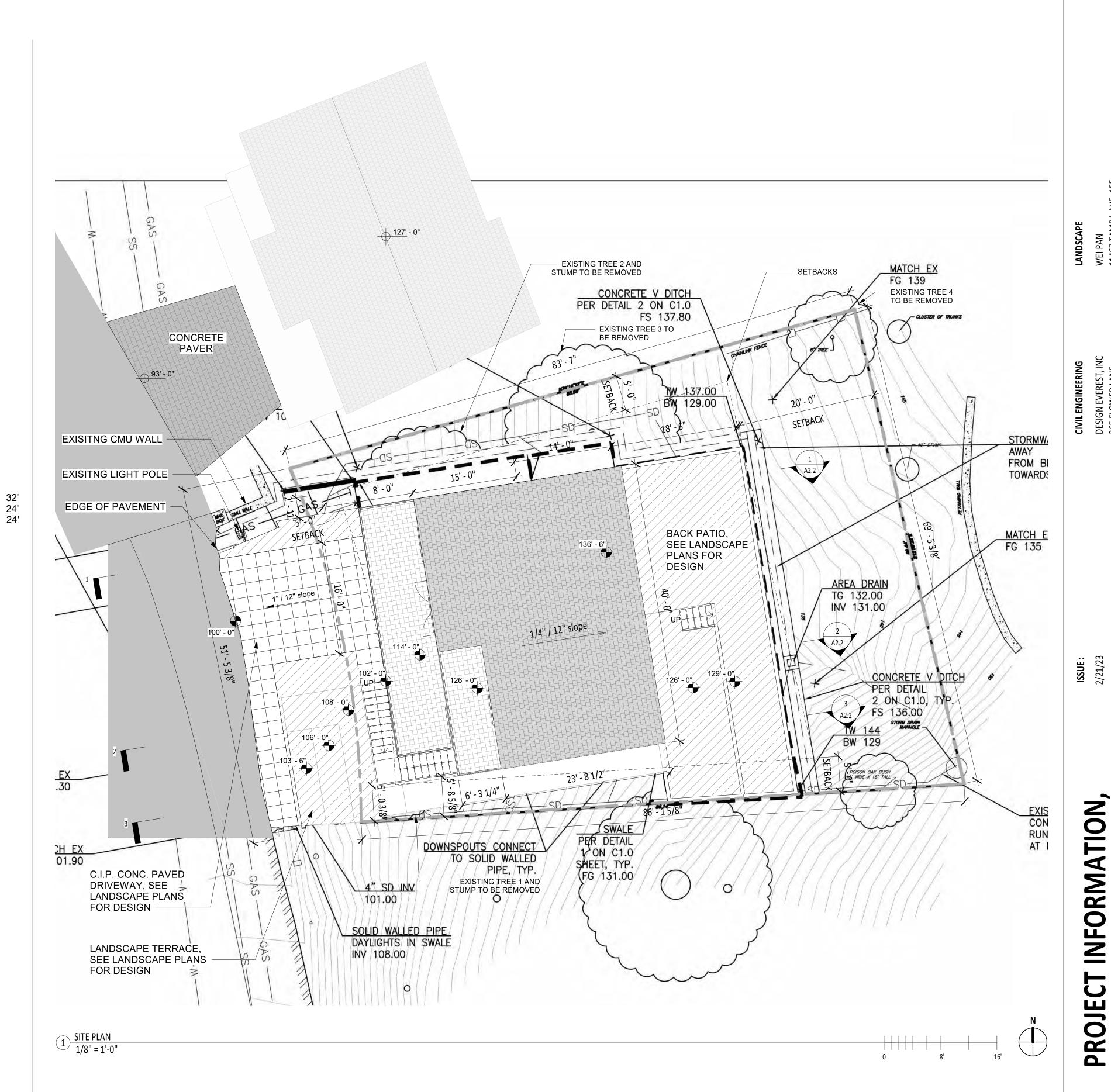
THESE DRAWINGS ARE INTENDED FOR OBTAINING ENTITLEMENTS AND TO ASSIST IN PRICING COST OF CONSTRUCTION, BUT ARE NOT PREPARED FOR BUILDING PERMIT REVIEW, NOR SHALL THEY BE USED FOR CONSTRUCTION PURPOSES.

#### **DESIGNER STATEMENT:**

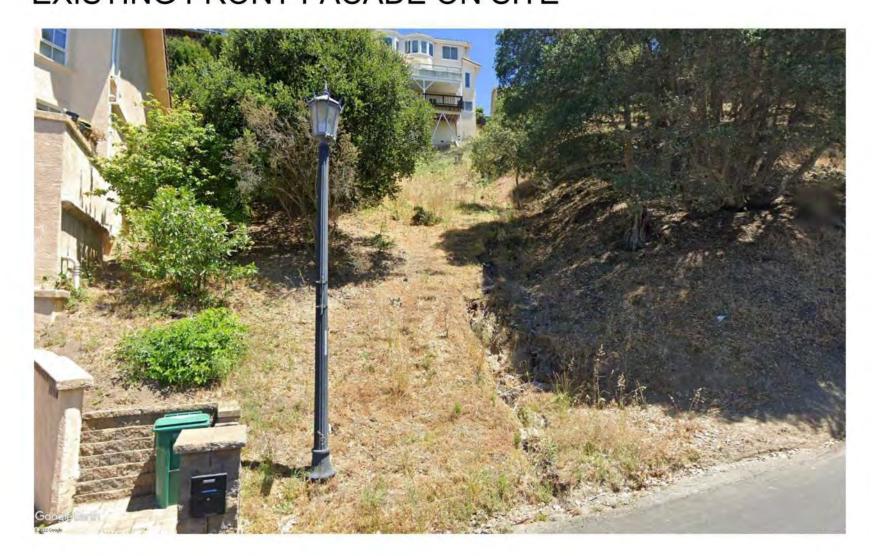
THIS PLOT PLAN, ALL "A" SHEETS HEREWITH IN, HAVE BEEN CREATED BY ME.

I FURTHER STATE THAT ALL GRADES AND SECTIONS DERIVED FROM TOPOGRAPHIC INFORMATION ARE BASED UPON A SURVEY (INCLUDED IN THIS SUBMITTAL) BY ROY OLSEN OF OLSEN LAND SURVEYS AND DIGITAL CAD INFORMATION PROVIDED TO ME FROM THAT OFFICE.

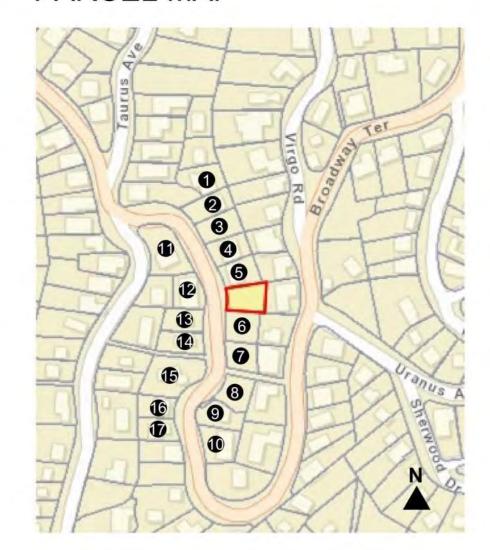
YI WANG - OWNER / DESIGNER



#### EXISTING FRONT FACADE ON SITE



#### PARCEL MAP



#### NEIGHBOURS FROM NORTH SIDE



9086 Broadway Terrace



2 9098 Broadway Terrace



3 9900 Broadway Terrace



4 10008 Broadway Terrace



6 10010 Broadway Terrace

#### NEIGHBOURS FROM SOUTH SIDE



6 Vacant Lot 1



Vacant Lot 2



8 Vacant Lot 3



9 10062 Broadway Terrace

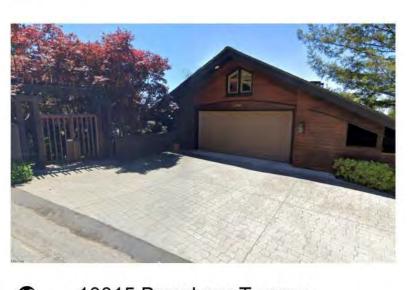


10066 Broadway Terrace

#### NEIGHBOURS ACROSS THE STREET



108 Taurus Ave



10015 Broadway Terrace



10025 Broadway Terrace



10033 Broadway Terrace



10055 Broadway Terrace



10063 Broadway Terrace



10065 Broadway Terrace

ST, INC
WEI PAN
ANE
11467 TAN
W, CA 94043
PORTER R,

2/21/23 DRAWN BY:



TBD	a Cictorn/e\ic Lace Than 750 Gallane	Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	a. Cistern(s) is Less Than 750 Gallons b. Cistern(s) is 750 to 2,500 Gallons	0			-		1	
TBD	c. Cistern(s) is Greater Than 2,500 Gallons	0					4.	
TBD	9. Irrigation System Uses Recycled Wastewater	0					1-1	
TBD	10. Submetering for Landscape Irrigation	0					7	
	11. Design Landscape to Meet Water Budget			_				
TBD	a. Install Irrigation System That Will Be Operated at ≤70% Reference ET	0					4.1	
	(Prerequisites for Credit are C1. and C2.)		-	-	-	-	-	
TBD	<ul> <li>b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.)</li> </ul>	0					(1)	
	12. Use Environmentally Preferable Materials for 70% of Non-Plant							
TOO	Landscape Elements and Fencing							
TBD	A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content	0				7-		
	E) Finger-Jointed or F) Local						-	
TBD	13. Reduce Light Pollution by Shielding Fixtures and Directing Light	0	4:					
4.0	Downward  Total Points Available in Landscape = 35	6		_			-	
STRUC	TURAL FRAME & BUILDING ENVELOPE	· ·		Poss	ble Po	ints		
	1. Apply Optimal Value Engineering			. 555	100			
TBD	a. Place Joists, Rafters and Studs at 24-Inch On Center	0				3		
TBD	b. Door and Window Headers are Sized for Load	0				- 1-		
TBD	c. Use Only Cripple Studs Required for Load	0				1		
	2. Construction Material Efficiencies						-	
TBD	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered     Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
TBD	b. Modular Components Are Delivered Assembled to the Project (Minimum 25%)	0		-		6	-	
	3. Use Engineered Lumber	-		-		40	1	
TBD	a. Engineered Beams and Headers	0	- 1			7		
Yes	b. Wood I-Joists or Web Trusses for Floors	1				1		
TBD	c. Engineered Lumber for Roof Rafters	0				1		
TBD	d. Engineered or Finger-Jointed Studs for Vertical Applications	Ó				1		
TBD	e. Oriented Strand Board for Subfloor	0				T		
TBD	f, Oriented Strand Board for Wall and Roof Sheathing  4. Insulated Headers	0	-	1	_	1	-	
IDU	5. Use FSC-Certified Wood	U					-	
TBD	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	0		2 4		6		
TBD	b. Panel Products (Minimum 40%)	0				3		
	6. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame							
	Assembly)							
TBD	a. Floors	0				2		
TBD	b. Walls	0				2		
TBD	c. Roofs	0		-	-	1	-	
TBD	7. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	0		4				
	8, Install Overhangs and Gutters						-	
TBD	a. Minimum 16-Inch Overhangs and Gutters	0				301		
TBD	b. Minimum 24-Inch Overhangs and Gutters	0		1				
	9. Reduce Pollution Entering the Home from the Garage							
	[*This credit is a requirement associated with J4: EPA IAP]							
TBD	a. Install Garage Exhaust Fan OR Build a Detached Garage	0		-	1		-	
TBD	b, Tightly Seal the Air Barrier between Garage and Living Area (Performance Test Required)	0			1			
_	Total Points Available in Structural Frame and Building Envelope = 39	1		_		_		
XTERIO				Poss	ible Po	ints		
TBD	1. Use Environmentally Preferable Decking	0				2		
TBD	2. Flashing Installation Techniques Specified and Third-Party Verified	ō				4		
	[*This credit is a requirement associated with J4: EPA IAP]							
TBD	3. Install a Rain Screen Wall System	0		-	_	2	-	
TBD	Use Durable and Non-Combustible Siding Materials     Use Durable and Fire Resistant Roofing Materials or Assembly	2		-		2	-	
105	js. Use Durable and Fire Resistant Rooting Materials or Assembly  Total Points Available in Exterior = 8	-				4		
NSULA				Poss	ble Po	oints		
	1. Install Insulation with 75% Recycled Content			. 000				
Yes	a. Walls	1				1		
Yes	b. Ceilings	1				1		
TBD	c. Floors	0				1		
DI LIME	Total Points Available in Insulation = 3	2		Dane	ble D	inte		
PLUMB	Distribute Domestic Hot Water Efficiently			Poss	ible Po	ints		
	(Max. 5 points, G1a. is a Prerequisite for G1b-e)							
-	a. Insulate All Hot Water Pipes			. 1		T		
TBD	[*This credit is a requirement associated with J4: EPA IAP]	0		9			11	1 7
TBD	b. Use Engineered Parallel Plumbing	0					4.	
TBD	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					T	
TBD	d, Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled	0		Ī			2	
.V. 40	Circulation Loop(s)			^	_		1	
TBD	e. Use Central Core Plumbing  2. Water Efficient Fixtures	0		1		7-1	4	
17.	Water Efficient Fixtures     a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi. (Multiple			T				
Yes	showerheads shall not exceed maximum flow rates) (CALGreen code if applicable)	3.					3	
Yes	b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi (CALGreen code)	1					1	
	Andrea - Andreas							
	Single Family Che	cklist						
(0)	Build It Green New Home Version							Page 2 of 6
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TBD	3. Design and Build Near Zero Energy Homes (Enter number of points, minimum of 2 and maximum of 6 points)	0		6			
TBD	4. Obtain EPA Indoor airPlus Certification	0			2		
TDD	(Total 42 points, not including Title 24 performance; read comment)  5. Title 24 Prepared and Signed by a CABEC Certified Energy Plans						-
TBD	Examiner (CEPE)	0		4			
TOD	Participation in Utility Program with Third Party Plan Review     a. Energy Efficiency Program			4			
TBD	[*This credit is a requirement associated with J4: EPA IAP]	0		1			
TBD	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		9			
	Total Available Points in Building Performance = 45+	30		_			
K. FINISH	S			Poss	sible P	oints	
C	Build It Green Single Family Che New Home Version						
	0 BROADWAY TERRACE	Points Achieved	Community	Energy	IAQ/Health	Resources	
TBD	Detailed Durability Plan and Third-Party Verification of Plan Implementation     Educational Signage of Project's Green Features	0				2	-
TBD TBD	a. Promotion of Green Building Practices b. Installed Green Building Educational Signage	0	1				
	3. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category for a maximum of 4 points for the measure in the blue cells. Points achieved column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.						
TBD	Innovation: Enter up to 4 Points at right. Enter description here Innovation: Enter up to 4 Points at right. Enter description here	0					
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0					
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0					
TBD	Innovation: Enter up to 4 Points at right. Enter description here  Total Achievable Points in Innovation = 33+	0					-
Q. CALIFO	RNIA CALGreen CODE			Poss	sible P	oints	
Yes	Home meets all applicable CAL. Green measures listed in above Sections A - P of the GreenPoint Rated checklist.	Y	R				
TBD	The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.  1. CALGreen 4.106.2 Storm water management during construction.  2. CALGreen 4.106.3 Design for surface water drainage away from buildings.  3. CALGreen 4.303.1 As an alternative to perscriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation  4. CALGreen 4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected  5. CALGreen 4.503.1 Gas fireplace shall be a direct-vent sealed-combustion type, Woodstove or pellet stove shall comply with US EPA Phase II emission limits  6. CALGreen 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.  7. CALGreen 4.505.3 19% moisture content of building framing materials  8. CALGreen 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	N N N N N					
	Total Achievable Points in California Green Code = 0	0					
Summa						$\overline{}$	
	Total Available Points in Specific Categories  Minimum Points Required in Specific Categories	_	35 0	96+	44	110	56

0040 BROADWAY TERRACE

H. HEATING, VENTILATION & AIR CONDITIONING

Yes c. High Efficiency Kitchen and Utility Faucets ≤1.8 gpm (CALGreen code if applicable)

Yes 3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)

Properly Design HVAC System and Perform Diagnostic Testing
 a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations

TBD c. Third Party Testing of Mechanical Ventilation Rates for IAQ (meet ASHRAE 62.2)

[\*This credit is a requirement associated with J4: EPA IAP] b, Test Total Supply Air Flow Rates
[\*This credit is a requirement associated with J4: EPA IAP]

2. Install Sealed Combustion Units
[\*This credit is a requirement associated with J4: EPA IAP]

TBD a. Furnaces

TBD 3. Install High Performing Zoned Hydronic Radiant Heating

TBD 4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants

TBD b. Use Duct Mastic on All Duct Joints and Seams
['This credit is a requirement associated with J4: EPA IAP]

[\*This credit is a requirement associated with J4: EPA IAP]

7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency

9. Install Mechanical Ventilation System for Cooling (Max. 4 Points) TBD a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms

TBD c. Automatically Controlled Integrated System with Variable Speed Control

10. Advanced Mechanical Ventilation for IAQ

8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if

b. Install Whole House Fan (Credit Not Available if H9c Chosen) (CALGreen code if

a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as

Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)

1. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living

adopted in Title 24 Part 6) [\*This credit is a requirement associated with J4: EPA IAP]

Total Available Points in Renewable Energy = 27

Page 3 of 6

Page 6 of 6

c. Pressure Relieve the Ductwork System TBD [\*This credit is a requirement associated with J4: EPA IAP]

TBD 6. Install High Efficiency HVAC Filter (MERV 6+)

TBD Rating >60% using CSA Standards
[\*This credit is a requirement associated with J4: EPA IAP]

TBD c. Outdoor Air Ducted to Bedroom and Living Areas of Home

[\*This credit is a requirement associated with J4: EPA IAP]

3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)

TBD 1. Pre-Plumb for Solar Water Heating
2. Install Wiring Conduit for Future Photovoltaic Installation & Provide

Enter % total energy consumption offset, 1 point per 4% offset

1. Building Envelope Diagnostic Evaluations
 a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall

c. Blower Door Results are Max 2.5 ACH<sub>50</sub> for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH<sub>50</sub> for Balanced Systems (2 Total Points for J1b. and J1c.)

Required: Building Performance Exceeds Title 24 (Minimum 15%)
(Enter the Percent Better Than Title 24, Points for Every 1% Better Than Title 24)

[\*This credit is a requirement associated with J4: EPA IAP]

[\*This credit is a requirement associated with J4: EPA IAP]

Space and No Attached Garage)

200 ft<sup>2</sup> of South-Facing Roof

b. House Passes Blower Door Test

TBD d. House Passes Combustion Safety Backdraft Test

RENEWABLE ENERGY

© Build It Green

Preferable Refrigerants

5. Design and Install Effective Ductwork TBD a, Install HVAC Unit and Ductwork within Conditioned Space

040 BROADWAY TERRACE	Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
BD 1. Design Entryways to Reduce Tracked-In Contaminants	0			1			
Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)     a. Low-VOC Interior Wall/Ceiling Paints (CALGreen code if applicable)			-			-	
res (<50 Grams Per Liter (gpl) VOCs Regardless of Sheen)	4			1		- 1	
[*This credit is a requirement associated with J4: EPA IAP]   BD   b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs Regardless of Sheen)	0			2		-	<u>+                                    </u>
3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113 (CALGreen code if applicable)			1				
(*This credit is a requirement associated with J4: EPA IAP)	2			2			
4. Use Low-VOC Caulks, Construction Adhesives and Sealants that	2			2			
Meet SCAQMD Rule 1168 (CALGreen code if applicable)  5. Use Recycled-Content Paint	0		-		-14		
6. Use Environmentally Preferable Materials for Interior Finish							
A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or     E) Finger-Jointed F) Local							
BD a. Cabinets (50% Minimum)	0				3		
BD c. Shelving (50% Minimum)	1				5		
BD d. Doors (50% Minimum)	0				2		
BD e. Countertops (50% Minimum)	0				2		
7. Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	Y			Œ			
8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates							
TBD a. Doors (90% Minimum) b. Cabinets & Countertops (90% Minimum)	0			1			
BD b. Cabinets & Countertops (90% Minimum) c. Interior Trim and Shelving (90% Minimum)	0			1			
9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde	0			3			
Level <27ppb  Total Available Points in Finishes = 27	6			-			
OORING			Poss	ible Po	oints		
BD  1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area)  A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable,  D) Recycled-Content, E) Exposed Concrete, F) Local. Flooring Adhesives Must  Meet SCAQMD Rule 1168 for VOCs.	ō				4		
BD 2. Thermal Mass Floors (Minimum 50%)	0	-3	1				
BD 3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore [*This credit is a requirement associated with J4: EPA IAP]	0			.3			
4. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	Y						
Total Available Points in Flooring = 8	0		_				
PPLIANCES AND LIGHTING			Poss	ible Po	oints		
BD 1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)  2. Install ENERGY STAR Clothes Washer	0		1 1			1	
a. Meets ENERGY STAR and CEE Tier 2 Requirements	0		8			2	
(Modified Energy Factor 2.0, Water Factor 6.0 or less) b. Meets ENERGY STAR and CEE Tier 3 Requirements			-	-			
(Modified Energy Factor 2.2, Water Factor 4.5 or less)	0			$\perp$		2	
3. Install ENERGY STAR Refrigerator  BD a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	0		1 . [				
BD b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0		1				
Install Built-In Recycling Center or Composting Center     a. Built-In Recycling Center	0				† I		
BD b. Built-In Composting Center	0				1		
5. Install High-Efficacy Lighting and Design Lighting System  a. Install High-Efficacy Lighting	0		3 1				
	0		i				
			7				
Total Available Points in Appliances and Lighting = 13  THER	0		Poss	ible Po	oints		
1. Required: Incorporate GreenPoint Rated Checklist in Blueprints	Υ				R		
(*This credit is a requirement associated with J4: EPA IAP)  3D 2. Pre-Construction Kick-Off Meeting with Rater and Subs	0	T					
3. Homebuilder's Management Staff are Certified Green Building	0	4:					
Professionals	.U.						5
4. Develop Homeowner Education							
a. Develop Homeowner Manual of Green Features/Benefits (CALGreen code if applicable)	2		4.			1	
h. Conduct Educational Walkthroughs (Prerequisite is N4a). I*This credit is a requirement			y				
associated with J4: EPA IAP]	0			1)			<u>c</u>
5. Install a Home System Monitor OR Participate in a Time-of-Use	0		9-1	- 1			
Pricing Program  Total Available Points in Other = 6	2						
			District	ible Po	Street war		

Single Family Checklist New Home Version 4.2

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BD	a, Project is an Urban Infill Development	Points Achieved	Commun	Energy	IAQ/Heat	Resource	Water	Notes
BD	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0	3					
BD	2. Build on Designated Brownfield Site	0	3					
	3. Cluster Homes & Keep Size in Check							
BD	a. Cluster Homes for Land Preservation	0	1			1		
BD	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2			2		1
	c. Home Size Efficiency	0				0		
	i. Enter Average Unit Square Footage							
	ii. Enter Average Number of Bedrooms/Unit							
	4. Design for Walking & Bicycling							
	a. Site Has Pedestrian Access Within 1/2 Mile of Community Services:							
	TIER 1: Enter Number of Services Within 1/2 Mile  1) Day Care 2) Community Center 3) Public Park 4) Drug Store							
	5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School							
	Programs 10) Convenience Store Where Meat & Produce are Sold							
	TIER 2: Enter Number of Services Within 1/2 Mile							
	1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware							
	5) Theater/Entertainment 6) Fitness/Gym 7) Post Office							
	8) Senior Care Facility 9) Medical/Dental 10) Hair Care							
	11) Commercial Office or Major Employer 12) Full Scale Supermarket							
	5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	D	1			-	-	
	ii, 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1	-		-	-	
BD	b. Development is Connected with A Dedicated Pedestrian Pathway to Places of Recreational Interest Within 1/4 mile	0	0				1	
	c. Install Traffic Calming Strategies (Minimum of Two):							
00	- Designated Bicycle Lanes are Present on Roadways;		· cr					
BD	- Ten-Foot Vehicle Travel Lanes;	0	-22					
	<ul> <li>Street Crossings Closest to Site are Located Less Than 300 Feet Apart;</li> <li>Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands</li> </ul>							
	The state of the s							
00	5. Design for Safety & Social Gathering	-						
BD	a. All Home Front Entrances Have Views from the Inside to Outside Callers	0	- 1			-		
BD	b. All Home Front Entrances Can be Seen from the Street and/or from Other Front Doors	0	T					
BD	c. Orient Porches (min. 100sf) to Streets and Public Spaces	0	-5					
BD	d. Development Includes a Social Gathering Space	0	1					
	6. Design for Diverse Households (6a. is a Prerequisite for 6b. and 6c.)							
BD	a. All Homes Have At Least One Zero-Step Entrance	0	1					
BD	b. All Main Floor Interior Doors & Passageways Have a Minimum 32-Inch Clear	0	4:					
DU.	Passage Space	u	7					
BD	c. Locate Half-Bath on the Ground Floor	0	1					
BD	d. Provide Full-Function Independent Rental Unit	0	1					
NOV	Total Achievable Points in Community Design & Planning = 35	0		Pos	eihle l	Points		
11047	A. Site			1 00	UIDIC I	Ollito		
	14 500							
	1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with							
	Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with PA2.)							
BD	PA2.) a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	0	Ť	1				
BD	PA2.)  a. Use Permeable Paving for 25% of Driveways, Patios and Walkways  b. Install Bio-Retention and Filtration Features	0	2					
BD BD	PA2.) a. Use Permeable Paving for 25% of Driveways, Patios and Walkways b. Install Bio-Retention and Filtration Features c. Route Downspout Through Permeable Landscape	0	2					
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**GREEN POINT RATING** CHECKLIST

#### **GENERAL NOTES:**

- 1. WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OAKLAND STANDARD DETAILS AND SPECIFICATIONS.
- 2. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECH REPORT.
- 3. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED 06/18/21 BY ROY ALLAN ROBERT OLSEN.
- 4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- 5. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- 6. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- 7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- 8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- 9. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- 10. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- 11. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- 12. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- 13. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- 14. ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- 15. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- 16. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 17. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE. UNLESS OTHERWISE NOTED.
- 18. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
- 19. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- 20. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- 21. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- 22. ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
- 23. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- 24. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- 25. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

#### LEGEND:

#### **PROPOSED**

DETAILS AND SPECIFICATIONS.

**CLEANOUT** 

SANITARY SEWER PIPE

WATER METER BOX. TO BE CONSTRUCTED BY UTILITY

**\*** 

CONCRETE SIDEWALK PER CITY OF OAKLAND STANDARD

ASPHALT PER CITY OF OAKLAND STANDARD DETAILS AND SPECIFICATIONS.

SAWCUT LINE

DOMESTIC WATER LINE

STORM DRAIN LINE

FIRE WATER LINE

GAS LINE

ELECTRICAL LINE

PROPERTY LINE

LIMIT LINE OF WORK



CONCRETE/ASPHALT PAVEMENT AND BASE REMOVAL



DEMOLISH STRUCTURE

//////////////////////////////////  $\sim$ 

 $\leadsto$ 

27%

DEMOLISH UTILITY LINE

EXISTING SURFACE FLOW DIRECTION

PROPOSED SURFACE FLOW DIRECTION

SLOPE AND DIRECTION

SANITARY SEWER CLEANOUT

METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANY.

PERFORATED DRAINAGE PIPE

CONCRETE VALLEY GUTTER RETAINING WALL. SEE PLANS BY STRUCTURAL ENGINEER FOR

WALL DETAILS.

#### **ABBREVIATIONS:**

BACK OF WALK **EXISTING** FINISHED FLOOR FLOW LINE FORCE MAIN

FINISHED SURFACE HIGH DENSITY POLY ETHYLENE INV

PROPERTY LINE STANDARD DIMENSION RATIO SDR

SD STORM DRAIN SANITARY SEWER

SANITARY SEWER CLEAN OUT TOP OF CURB

WATER

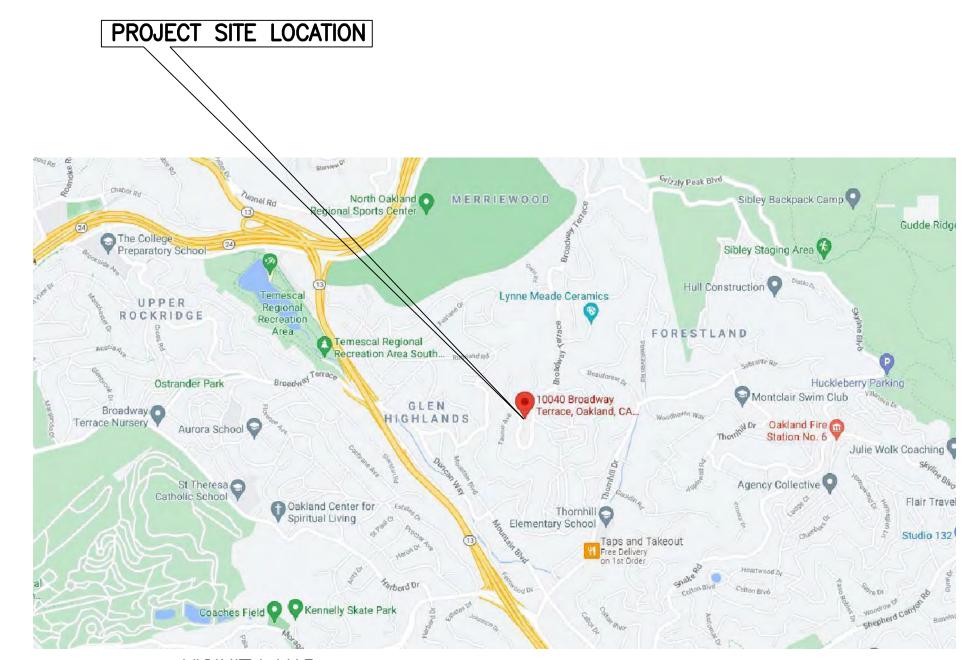
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#### SHEET INDEX: CIVIL DRAWINGS

CIVIL COVER PLAN EROSION CONTROL AND DEMOLITION PLAN C0.2 C0.3 POLLUTION PREVENTION PLAN GRADING AND DRAINAGE PLAN

C2.0 CUT AND FILL

C3.0 UTILITY PLAN



**VICINITY MAP** NOT TO SCALE

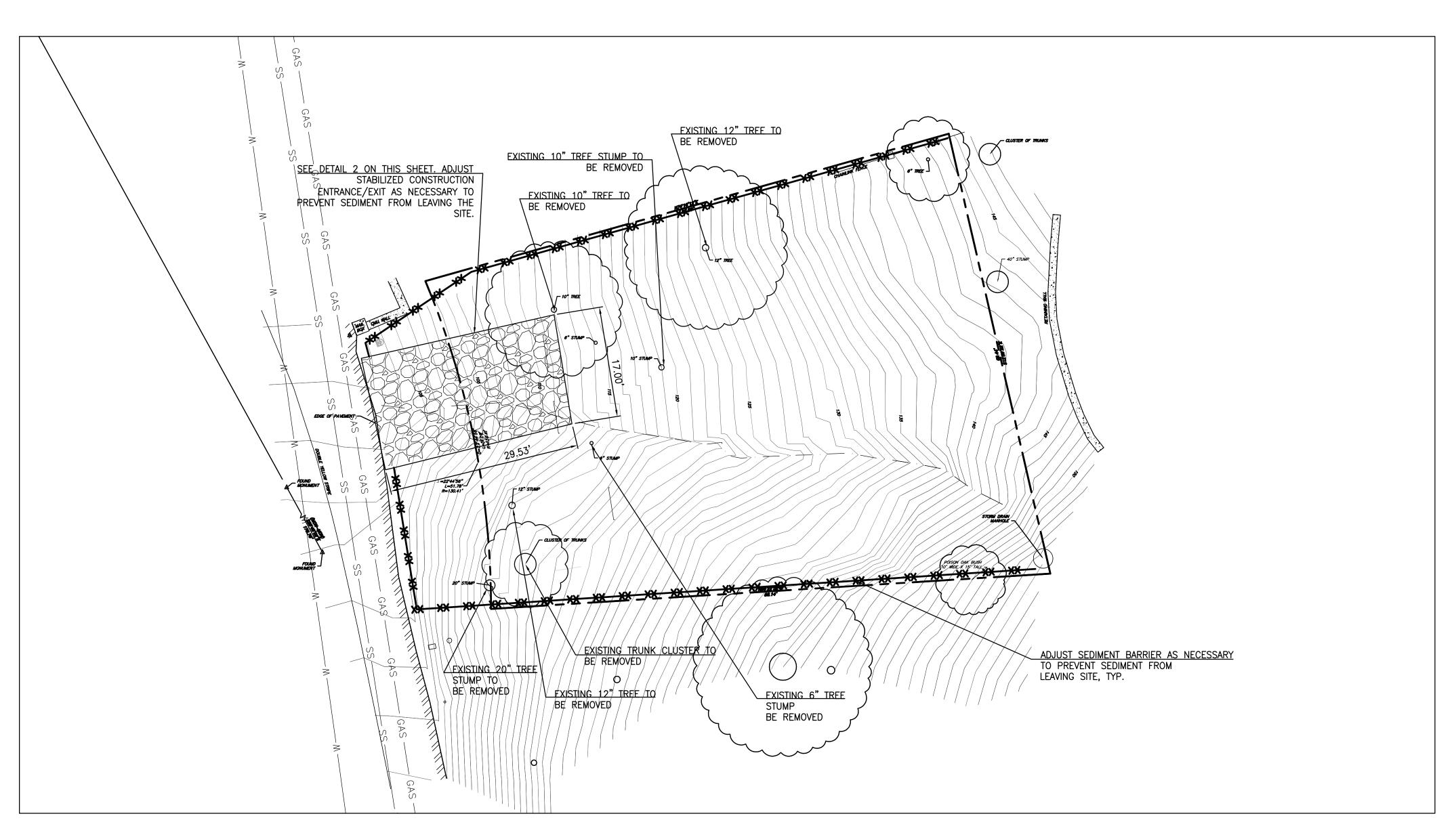
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CIVIL COVER PLAN



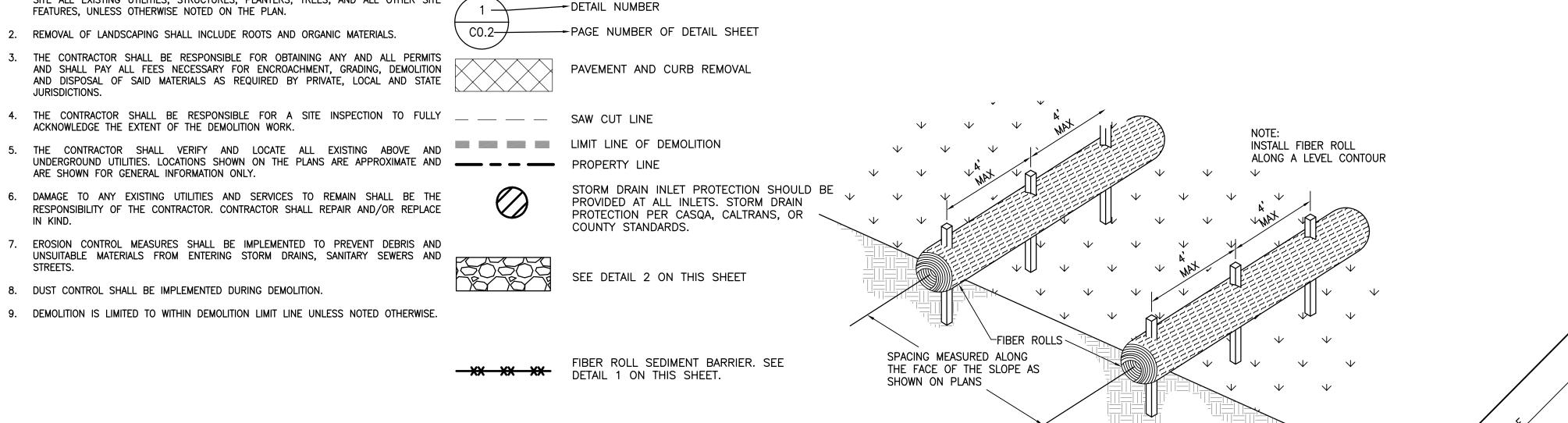
#### **GENERAL DEMOLITION NOTES:**

CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.

LEGEND:

- PROPERTY LINE

- 2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY \_\_\_ \_\_\_ \_\_ ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- 5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE 7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND
- UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND
- 8. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- 9. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.



SLOPE VARIES

BURY FIBER ROLL

IN NATIVE SOIL

2" MINIMUM 4" MAXIMUM TYPICAL FIBER ROLL INSTALLATION

**ENTRENCHMENT DETAIL** 

FIBER ROLL

3/4" X 3/4" WOOD STAKES

MAX 4' SPACING

<sup>8</sup> MIN

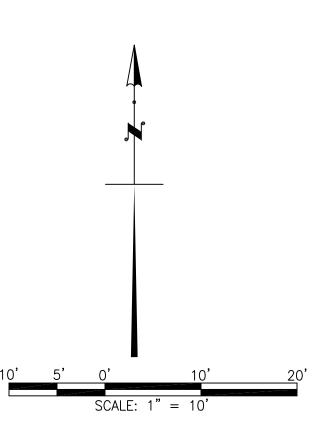
#### **EROSION CONTROL NOTES:**

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO PREVENT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS, BUT IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN THE SITE AND PREVENT SEDIMENT FROM LEAVING THE SITE.
- 2. THE RAINY SEASON IS DECLARED BY THE STATE WATER RESOURCES CONTROL BOARD (SWRCB). ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AND ACTIONS MAY BE NECESSARY DURING THE RAINY SEASON. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING SUCH MEASURES REQUIRED PER THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA)
- 3. THIS PLAN IS TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED, AS AND WHEN, DIRECTED AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- 4. CONTRACTOR IS RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- 5. EXCEPT WHEN DIRECTED OTHERWISE, ALL DEVICES SHOWN TO BE IN PLACE AT THE END OF EACH WORKING DAY, WHEN RAIN IS FORECASTED, AND MAINTAINED.
- 6. TAKE REASONABLE CARE WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. IF DIRT, MATERIALS, OR SEDIMENT BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, THEN THE DIRT, MATERIALS, OR SEDIMENT SHOULD IMMEDIATELY BE CLEANED UP.
- 7. DURING THE RAINY SEASON, KEEP ALL PAVED AREAS CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE CITY
- 8. CONTRACTOR PROVIDES DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- 9. FILLED FILTER BAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED, OR WHEN THE CITY OR INSPECTOR SO DIRECTS.
- 10. CONTRACTOR PROVIDES WATER ONSITE AND USE IT FOR DUST CONTROL DURING
- 11. CONTRACTOR MAINTAINS STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY INSPECTOR.
- 12. INSTALL INLET PROTECTION AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- 13. BEST MANAGEMENT PRACTICES (BMPS) SHOWN ARE OUTLINED IN, BUT NOT LIMITED TO, THE CONSTRUCTION BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), 2009, OR THE LATEST REVISED EDITION, AND APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).
- 14. MAINTENANCE IS TO BE PERFORMED PER THE CASQA BMP HANDBOOK AND AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION BY THE END OF EACH WORKING DAY.
  - B. INSPECT SEDIMENT TRAPS, BERMS, AND SWALES PERIODICALLY AND AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - C. REMOVE SEDIMENT AND RESTORE SEDIMENT BARRIER TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF HALF THE SEDIMENT BARRIER HEIGHT.
  - D. DEPOSIT SEDIMENT THAT HAS BEEN REMOVED FROM BARRIER SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT
- 17. CLEAN OUT INLET PROTECTION WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FILLED FILTER BAG.
- 18. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SEDIMENT, DUST, AND JOB SITE MATERIALS TO PREVENT THESE MATERIALS FROM LEAVING THE SITE.
- 19. IF VEHICLES ARE USED DURING CONSTRUCTION TO ACCESS THE PROJECT SITE, THEN THE CONTRACTOR SHALL USE DRAIN ROCK AS A GRAVEL ROADWAY/DRIVEWAY FOR THE VEHICLES TO ACCESS THE SITE. THE GRAVEL DRIVEWAY/ROADWAY SHALL HAVE 8" MINIMUM THICKNESS AND BE WIDE ENOUGH FOR VEHICLES TO ACCESS AND LEAVE THE SITE. CONSTRUCTION ROADWAY/DRIVEWAY SHALL BE APPROVED BY THE CITY'S CONSTRUCTION INSPECTOR OR ENGINEER. THE VEHICULAR ROADWAY/DRIVEWAY SHALL BE ACCOMPANIED WITH A VEHICULAR WASHING STATION. ALL VEHICLES SHALL WASH TIRES AND UNDERSIDE OF VEHICLES AS APPROPRIATE WHEN LEAVING THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY.

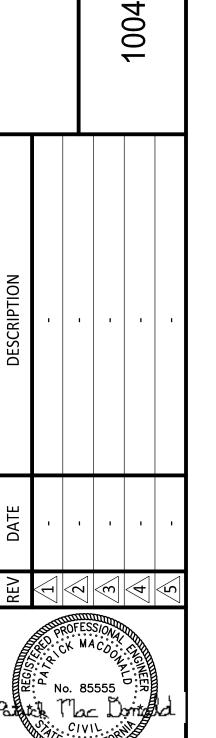
SEE EROSION CONTROL

FILTER FABRIC -

3"-6" CRUSHED AGGREGATE PLAN FOR DIMENSIONS



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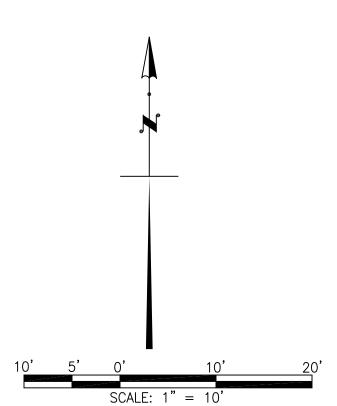
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PROJECT #: 202108021

EROSION CONTROL

**DEMOLITION PLAN** 

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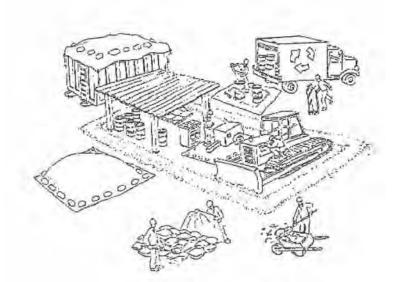
# Pollution Prevention - It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San

and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with

Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors



#### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from eatch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
  Comply with City of OAKLAND Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled.
  Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✓ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ➤ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ▶ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain.

  Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- ▶ Report any hazardous materials spills immediately! Dial 911 or
- the OAKLAND Public Works Department by dialing 311

#### Construction Entrances and Perimeter

- ✓ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✓ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

# Vehicle and equipment maintenance & cleaning

and county requirements.

- Inspect vehicles and equipment for leaks
- frequently. Use drip pans to catch leaks until repairs are made; repair leaks
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that
- is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a berned area that will not allow
- bermed area that will not allow rinse water to run into gutters, streets,

steam cleaning equipment, etc.

storm drains, or creeks.

Do not clean vehicles or equipment on-site using soaps, solvents, degreasers,

#### Earthwork & contaminated soils

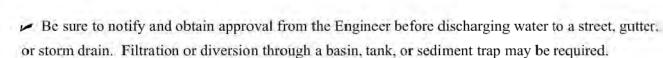
- ✓ Keep excavated soil on the site where it will not collect in the street.
- ✓ Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ➤ Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of entaminated soil according to their instructions.

#### Dewatering operations

- ✓ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.



✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater.
Consult with the Engineer to determine what testing is required and how to interpret results.
Contaminated groundwater must be treated or hauled off-site for proper disposal.

#### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use
- filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

#### Paving/asphalt work



✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
✓ Do not use water to wash down fresh asphalt

concrete pavement.

## Concrete, grout, and mortar storage & waste disposal

- ✓ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



✓ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

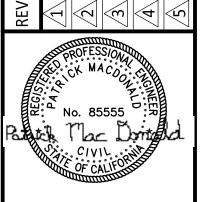
## Painting

- Never rinse paint brushes or materials in a gutter or street!Paint out excess water-based
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
   Filter paint thinners and solvents for reuse whenever possible.
   Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

#### Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

# mortar



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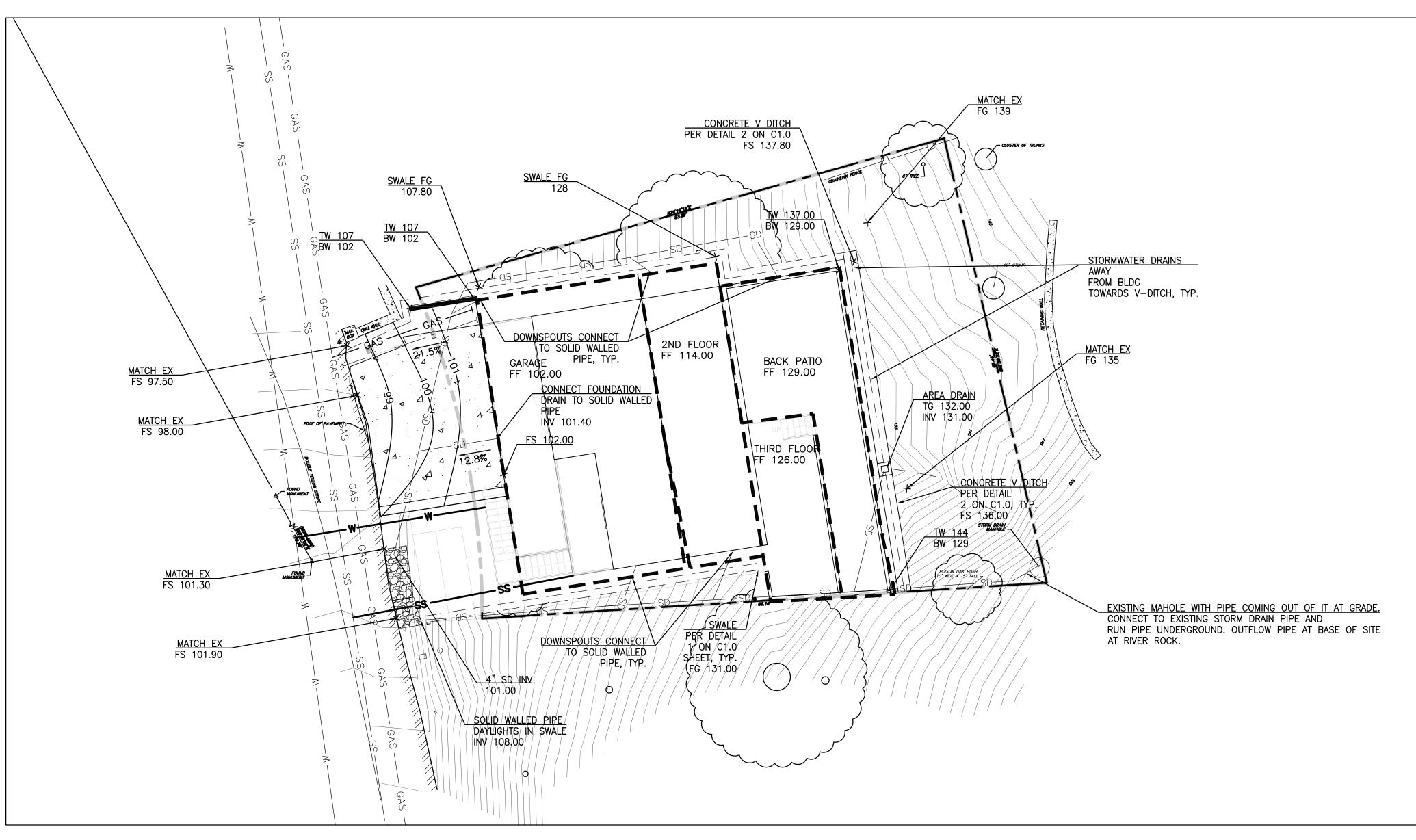
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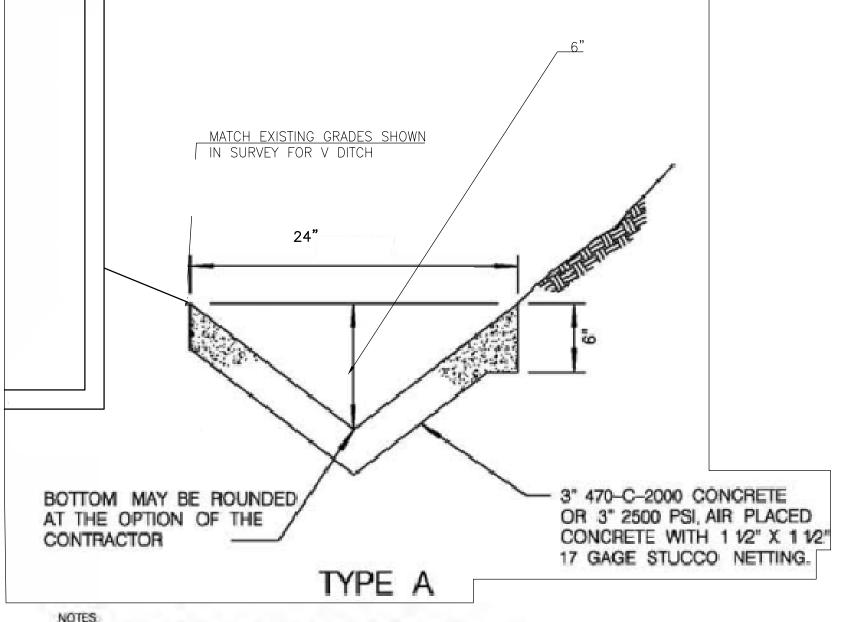
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PROJECT #: 202108021
POLLUTION
PREVENTION

PLAN

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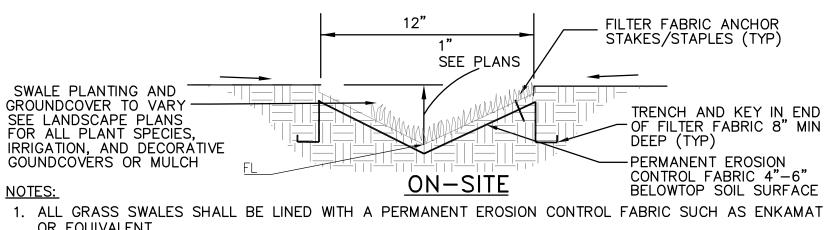




#### NOTES

- 1. LONGITUDINAL SLOPE OF LINED DITCH SHALL BE 2% MINIMUM.
- OVER SLOPE DOWN DITCHES SHALL EMPLOY 6" THICKENED EDGE SECTION AT BOTH SIDES OF DITCH.
- 3. STUCCO NETTING SHALL BE GALVANIZED AND SHALL HAVE 1 12" COVER.





- 1. ALL GRASS SWALES SHALL BE LINED WITH A PERMANENT EROSION CONTROL FABRIC SUCH AS ENKAMAT 7000 SERIES OR EQUIVALENT.
  A) ENKAMAT CONTACT INFORMATION:
  - P.O. BOX 1057, SAND HILL ROAD
- ENKA, NC 28728
- PHONE: 1-800-365-7391 / 1-828-665-5050
  2. THE CONTRACTOR SHALL HANDLE, STORE, PLACE AND INSTALL/ANCHOR THE PERMANENT EROSION CONTROL FABRIC IN
- ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION SPECIFICATIONS AND DETAILS.

  3. ALL PLANTING, MAINTANENCE, AND IRRIGATION SHALL BE PER THE LANDSCAPE ARCHITECTS PLAN. ALL PLANTING SHALL CONTINUE TO THE EDGE OF INLETS TO ENSURE FULL TREATMENT OF STORM WATER.
  - GRASS SWALE NOT TO SCALE C1.0

#### ALAMEDA COUNTY C3 STORMWATER REQUIREMENTS:

PERMIT REQUIREMENTS FOR SMALL PROJECTS

PROJECTS THAT CREATE AND/OR REPLACE 2,500 SQUARE FEET OR MORE OF IMPERVIOUS SURFACE. APPLICABLE PROJECTS MUST IMPLEMENT AT LEAST ONE OF THE FOLLOWING SITE DESIGN MEASURES:

- DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS FOR USE.
- DIRECT ROOF RUNOFF ONTO VEGETATED AREAS.
- DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
- DIRECT RUNOFF FROM DRIVEWAYS/UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
- □ CONSTRUCT SIDEWALKS, WALKWAYS, AND/OR PATIOS WITH PERMEABLE SURFACES.
- CONSTRUCT BIKE LANES, DRIVEWAYS, AND/OR UNCOVERED PARKING LOTS WITH PERMEABLE SURFACES.

THIS PROJECT MEETS ALAMEDA COUNTY STORMWATER STANDARDS BY DIRECTING RUNOFF FROM ROOF TOWARDS VEGETATED SWALE.

#### GRADING AND DRAINAGE PLAN NOTES:

- 1. PER 2019 CALIFORNIA BUILDING CODE SECTION 1804.4, THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).
- 2. ALL STEPS AND CURBS SHALL BE IN BETWEEN 4" AND 7".
- 3. ELEVATION OF LANDSCAPED AREAS ADJACENT TO SIDEWALKS OR WALKWAYS SHALL BE LESS THAN FOUR INCHES DIFFERENCE PER 1116A.1 OF THE CALIFORNIA BUILDING
- 4. THRESHOLDS, IF PROVIDED AT DOORWAYS SHALL BE HALF INCH HIGH MAXIMUM PER CALIFORNIA BUILDING CODE 11B-404.2.5.'
- 5. PROVIDE LEVEL LANDING AT DOORWAYS PER CALIFORNIA BUILDING CODE. DEPTH OF LEVEL LANDING SHALL NOT BE LESS THAN 44" AND MAX SLOPE IN ANY DIRECTION OF LEVEL LANDING SHALL BE TWO PERCENT.
- 6. PER CALIFORNIA PLUMBING CODE, SANITARY SEWER HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGNMENT AND A UNIFORM SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT (20.8 MM/M) OR 2 PERCENT TOWARD THE POINT OF DISPOSAL PROVIDED THAT, WHERE IT IS IMPRACTICAL DUE TO THE DEPTH OF THE STREET SEWER. TO THE STRUCTURAL FEATURES. OR TO THE ARRANGEMENT OF A BUILDING OR STRUCTURE TO OBTAIN A SLOPE OF
- 1/4 INCH PER FOOT (20.8 MM/M) OR 2 PERCENT, SUCH PIPE OR PIPING 4 INCHES (100 MM) OR LARGER IN DIAMETER SHALL BE PERMITTED TO HAVE A SLOPE OF NOT LESS THAN 1/8 INCH PER FOOT (LOA MM/M) OR 1 PERCENT, WHERE FIRST APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 7. SLOPE OF STORM DRAIN PIPE SHALL TYPICALLY PROVIDE VELOCITY OF STORMWATER IN BETWEEN 2 FEET PER SECOND AND 5 FEET PER SECOND.

#### **CUT AND FILL NOTES:**

CUT AND FILL NUMBERS ARE BASED ON USING CAD PROGRAM TO COMPARE EXISTING GRADES WITH PROPOSED GRADES SHOWN ON THE GRADING PLAN. CUT AND FILL NUMBERS ARE ESTIMATES.

TOTAL CUT: 443.81 CUBIC YARDS TOTAL FILL: 55.50 CUBIC YARDS

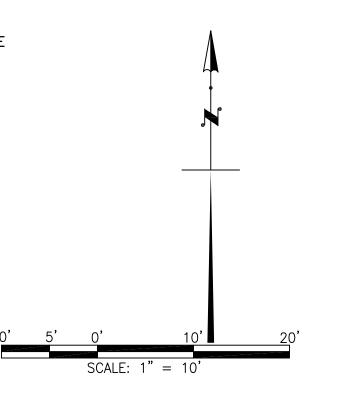
NET CUT: 388.30 CUBIC YARDS

LEGEND:	
<b>~</b> ▶	EXISTING SURFACE FLOW DIRECTION
<b>~</b>	PROPOSED SURFACE FLOW DIRECTION
27%	SLOPE AND DIRECTION
(E)	EXISTING
— Е —	ELECTRICAL SHOWN FOR REFERENCE ONLY. SE PLANS BY OTHERS.
w	WATER PIPE
——ss——	4" HDPE SDR 21 SEWER PIPE, OR APPROVED EQUAL
0	SANITARY SEWER CLEANOUT
	METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANIES.
	PROPERTY LINE

#### **ABBREVIATIONS:**

— — SAWCUT LINE

EG	EXISTING GROUND
EX FF	EXISTING FINISHED FLOOR
FG FL	FINISHED GROUND FLOW LINE
FM FS	FORCE MAIN FINISHED SURFACE
HDPE	HIGH DENSITY POLY ETHYLENE
INV I F	INVERT LINFAR FFFT
PL	PROPERTY LINE
SD SDR	STORM DRAIN STANDARD DIMENSION RATION
SSC0	SANITARY SEWER CLEAN OUT



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SIGN DATE: 02-10-2023

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GRADING AND

DRAINAGE PLAN

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PROJECT #: 202108021

#### CUT AND FILL NOTES:

CUT AND FILL NUMBERS ARE BASED ON USING CAD PROGRAM TO COMPARE EXISTING GRADES WITH PROPOSED GRADES SHOWN ON THE GRADING PLAN. CUT AND FILL NUMBERS ARE ESTIMATES.

TOTAL CUT: 443.81 CUBIC YARDS TOTAL FILL: 55.50 CUBIC YARDS

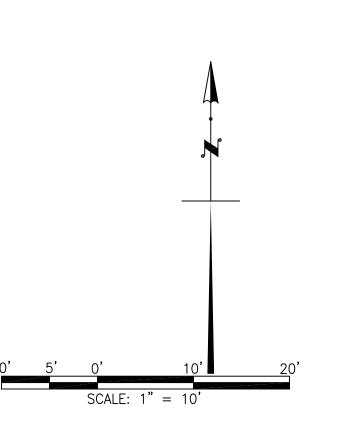
NET CUT: 388.30 CUBIC YARDS

#### **LEGEND:**

<b>~</b> ▶	EXISTING SURFACE FLOW DIRECTION
<b>~→</b>	PROPOSED SURFACE FLOW DIRECTION
27%	SLOPE AND DIRECTION
(E)	EXISTING
— Е —	ELECTRICAL SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS.
w	WATER PIPE
——ss——	4" HDPE SDR 21 SEWER PIPE, OR APPROVED EQUAL
0	SANITARY SEWER CLEANOUT
	METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANIES.
	PROPERTY LINE
	SAWCUT LINE

#### **ABBREVIATIONS:**

EG EX FF FG FL FM FS HDPE INV LF PL SD SDR	EXISTING GROUND EXISTING FINISHED FLOOR FINISHED GROUND FLOW LINE FORCE MAIN FINISHED SURFACE HIGH DENSITY POLY ETHYLENE INVERT LINEAR FEET PROPERTY LINE STORM DRAIN STANDARD DIMENSION RATION
SSCO	SANITARY SEWER CLEAN OUT



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APN: 48G-7426-22 10040 BROADWAY TERRACE OAKLAND, CA

No. 85555

Rotality Civil

SIGN DATE: 02-10-2023

DATE: AS NOTED

SCALE: AS NOTED

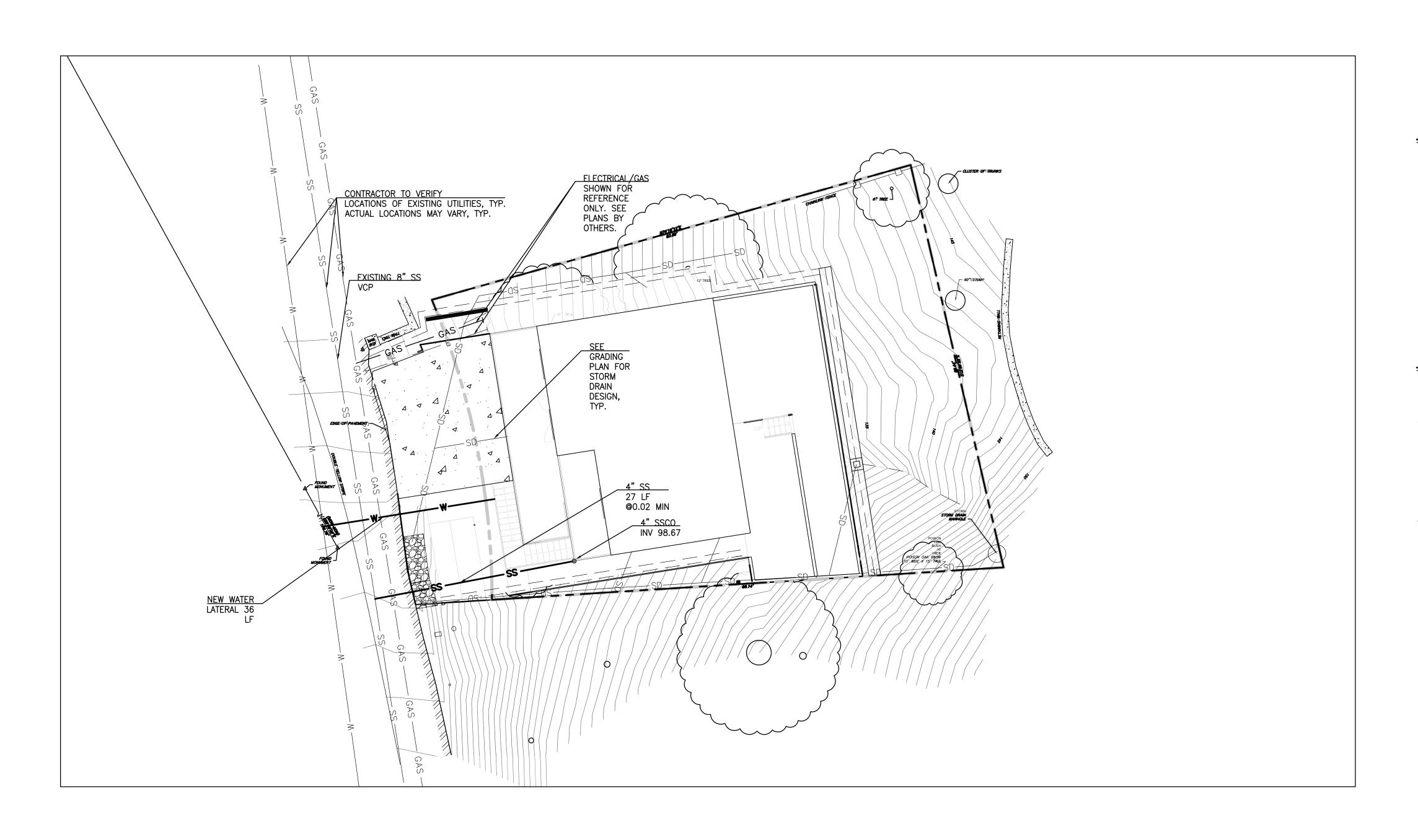
DRAWN BY: PM
CKD BY: PM

PROJECT #: 202108021

CUT AND

FILL PLAN

C2 0



#### UTILITY NOTES:

- 1. UTILITY PIPES AND STRUCTURES SHALL BE INSTALLED AT LEAST FIVE FEET FROM THE EDGE OF EXISTING OR PROPOSED TREE
- SEWER PIPE SHALL BE HDPE SDR 21 OR APPROVED EQUAL.
   UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE
- TRENCH DETAILS AND NOTES SHOWN ON THE DETAILS SHEET.
- 4. SEE GRADING PLAN FOR STORM DRAINAGE DESIGN. 5. UTILITY CROSSINGS SHOULD HAVE AT LEAST ONE FOOT OF
- VERTICAL SEPARATION IN BETWEEN THE CROSSING UTILITIES.

#### **LEGEND:**

4" HDPE SDR 21 SEWER PIPE SANITARY SEWER CLEANOUT

METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANIES.

- PROPERTY LINE

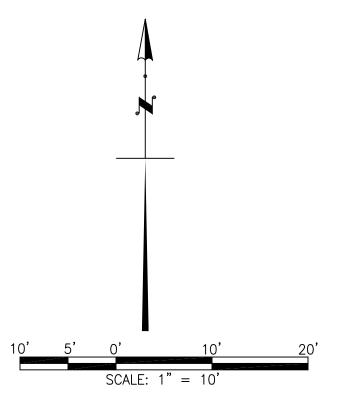
UTILITY STUB. SEE PLANS BY OTHERS FOR UTILITY CONNECTION.

#### **ABBREVIATIONS:**

EXISTING GROUND **EXISTING** HIGH DENSITY POLY ETHYLENE

INVERT  $\mathsf{PL}$ PROPERTY LINE

SDR STANDARD DIMENSION RATION SSCO SANITARY SEWER CLEAN OUT



0040

SIGN DATE: 02-10-2023

SCALE: AS NOTED

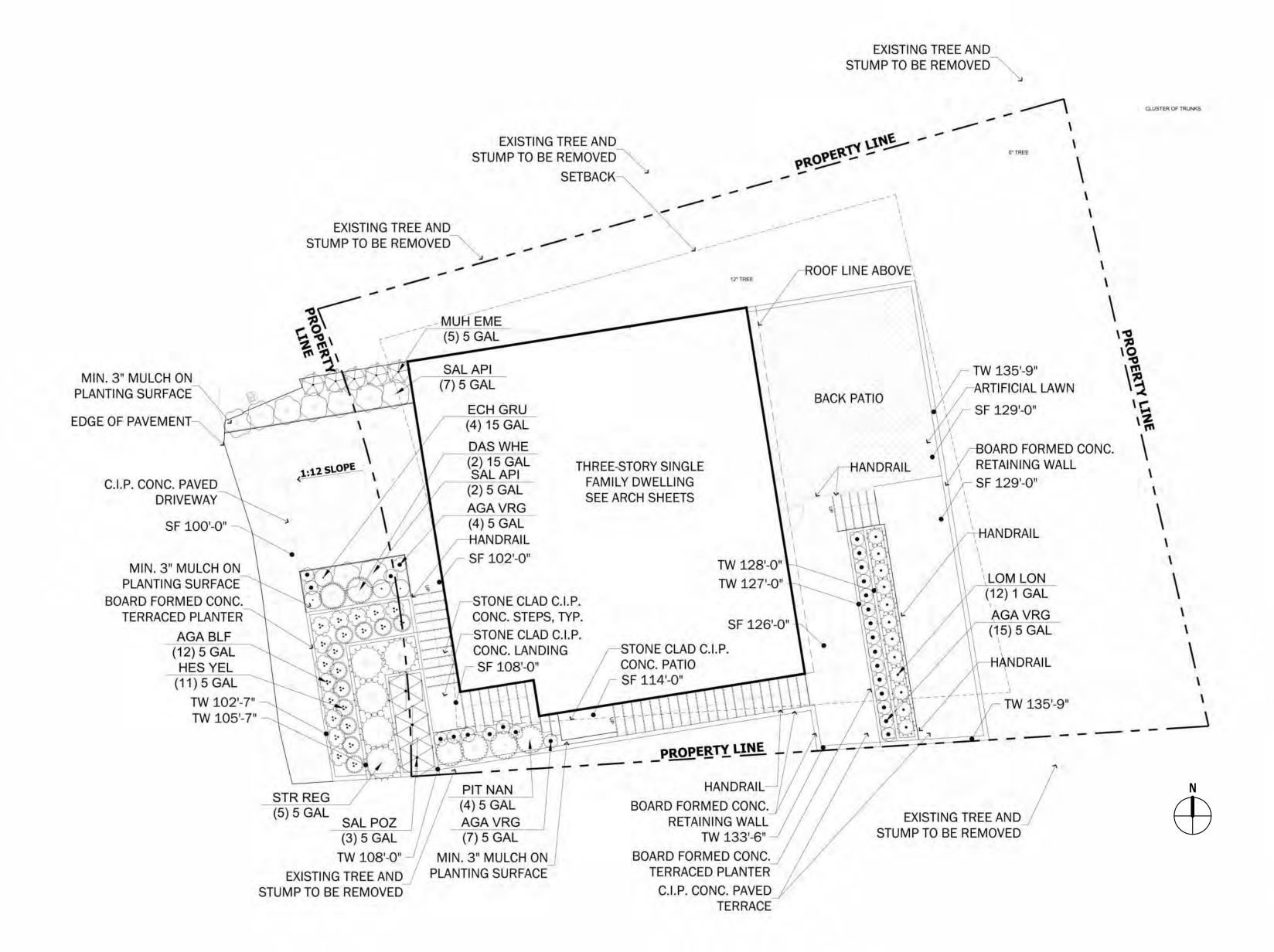
PROJECT #: 202108021

DRAWN BY: PM

CKD BY: PM

UTILITY PLAN

AS NOTED



PLANT	SCHE	DULE					
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	IRRIGATION METHOD	QT
(•)	AGA VRG	AGAVE VICTORIAE-REGINAE	QUEEN VICTORIA AGAVE	5 GAL	18" o.c.	DRIP IRRIGATION	26
	AGA BLF	AGAVE X 'BLUE FLAME'	BLUE FLAME AGAVE	5 GAL	24" o.c.	DRIP IRRIGATION	12
See See Works	DAS WHE	DASYLIRION WHEELERI	GREY DESERT SPOON	15 GAL	36" o.c.	DRIP IRRIGATION	2
$\odot$	ECH GRU	ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	15 GAL	24" o.c.	DRIP IRRIGATION	4
Manufacture of the state of the	HES YEL	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	24" o.c.	DRIP IRRIGATION	11
In the	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	24" o.c.	DRIP IRRIGATION	12
	MUH EME	MUHLENBERGIA EMERSLEYI 'EL TORO'	BULLGRASS	5 GAL	30" o.c.	DRIP IRRIGATION	5
Ermon S	PIT NAN	PITTOSPORUM CRASSIFOLIUM 'NANA'	DWARF KARO PITTOSPORUM	5 GAL	36" o.c.	DRIP IRRIGATION	4
0	SAL API	SALVIA APIANA	WHITE SAGE	5 GAL	36" o.c.	DRIP IRRIGATION	9
$\bigoplus$	SAL POZ	SALVIA X 'POZO BLUE'	POZO BLUE SAGE	5 GAL	48" o.c.	DRIP IRRIGATION	3
3 miles	STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	48" o.c.	DRIP IRRIGATION	5

### NOTE:

NEW LANDSCAPING AREA: 447.00 SF

FRONT YARD HARDSCAPE PAVING RATIO: 50%

A1.1

40' - 0"

ELEC. PANEL

TRASH BIN CLOSET

4' - 4 1/8"

10' - 0"

**STORAGE** 187 SF

103' - 6"

25' - 7 7/8"

25'-0"

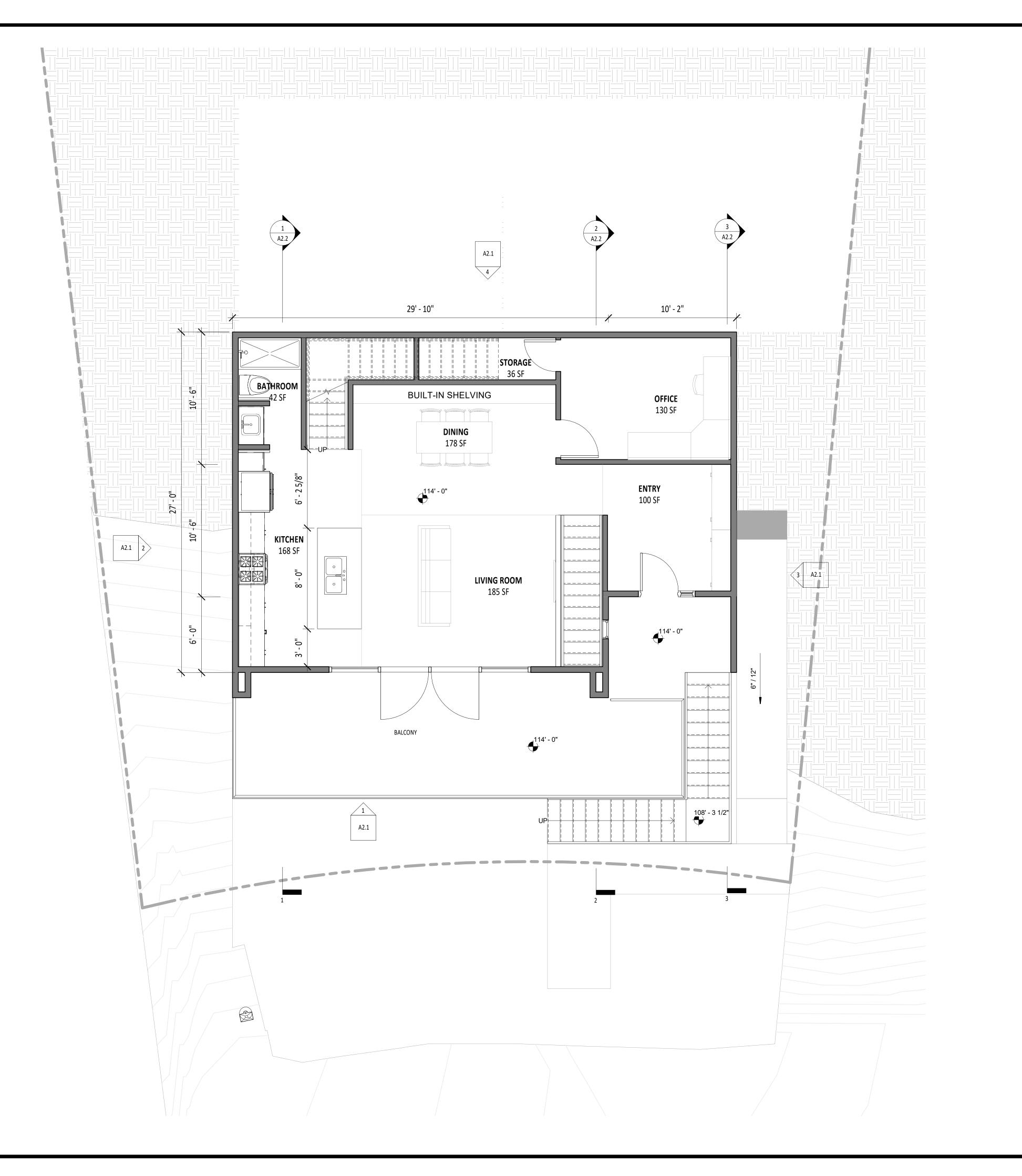
EDGE OF PAVEMENT

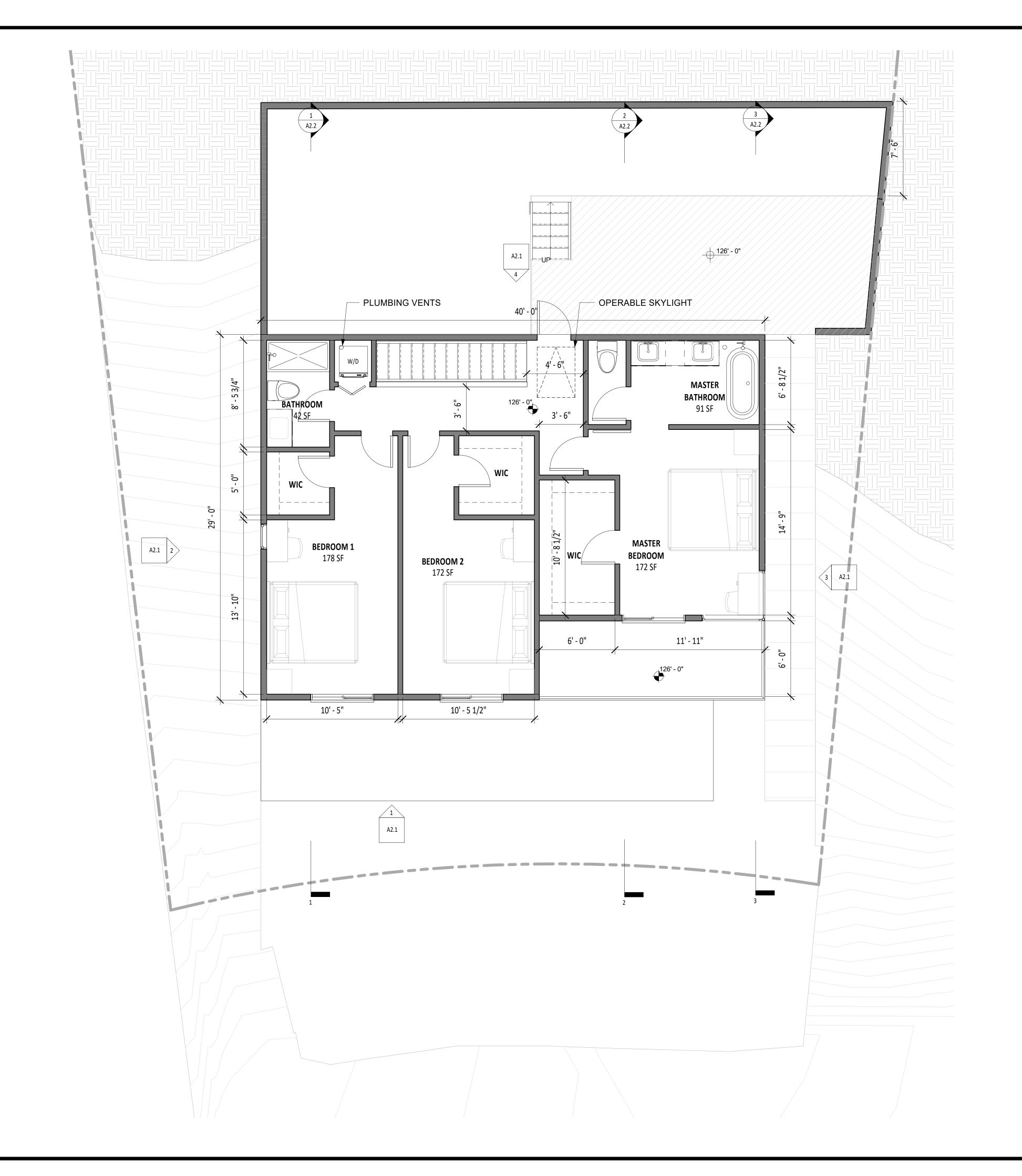
A2.1 2

13' - 5 1/2"

8'-11/4"

EXISTING LIGHT POLE





FOOF PLAN

SLIDING PATIO DOOR. TEMPERED GLASS. BLACK FINISH GLASS DOOR. TEMPERED GLASS. BLACK FINISH

THE MAIN ENTRY DOOR

**ELEVATION NOTES** 

ALL MATERIUALS TO MEET HIGH FIRE

TPO ROOF, WHITE COLOR

SMOOTH ACRYLIC STUCCO - WHITE

AND BLACK FINISH WOOD SIDING AT MAIN ENTRY

MODERN CASE LESS WINDOW

**CLEAR TEMPERED GLASS** BLACK FRAME AND TRIM

**DANGER ZONE RESTRICTIONS** 

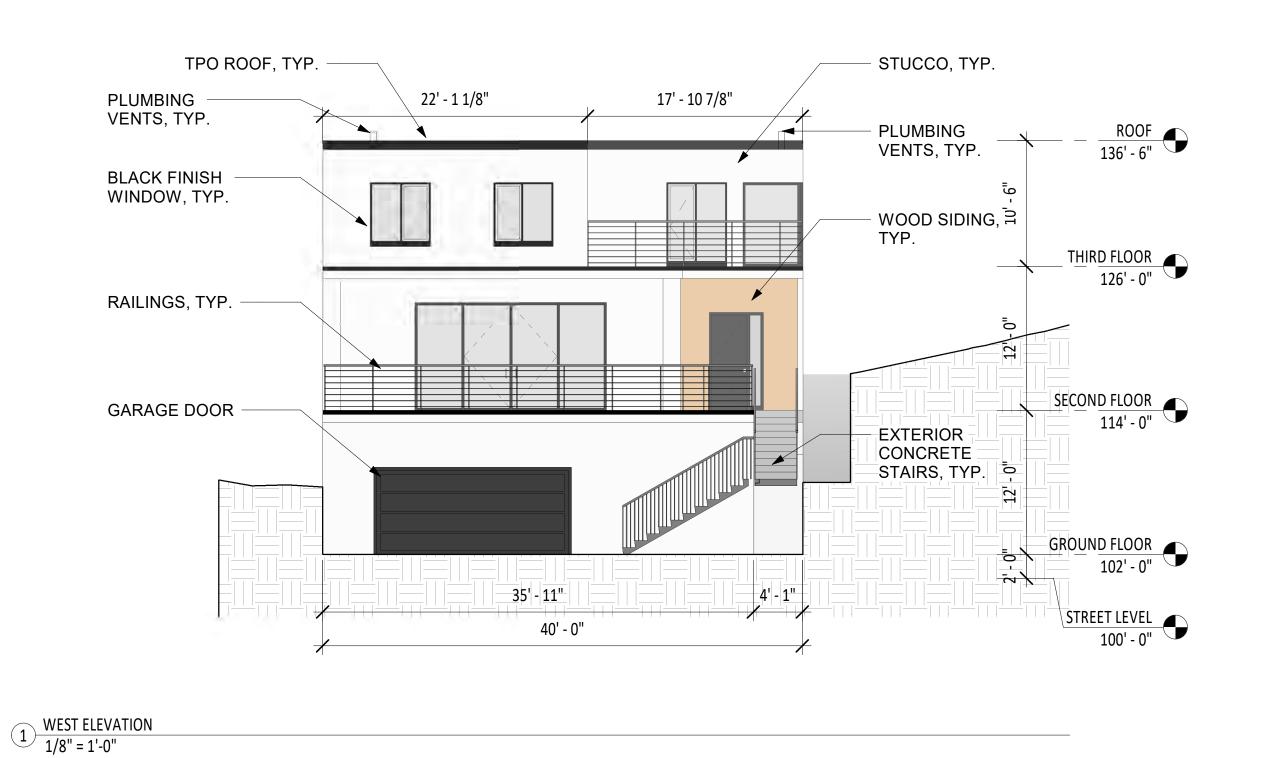
WINDOWS:

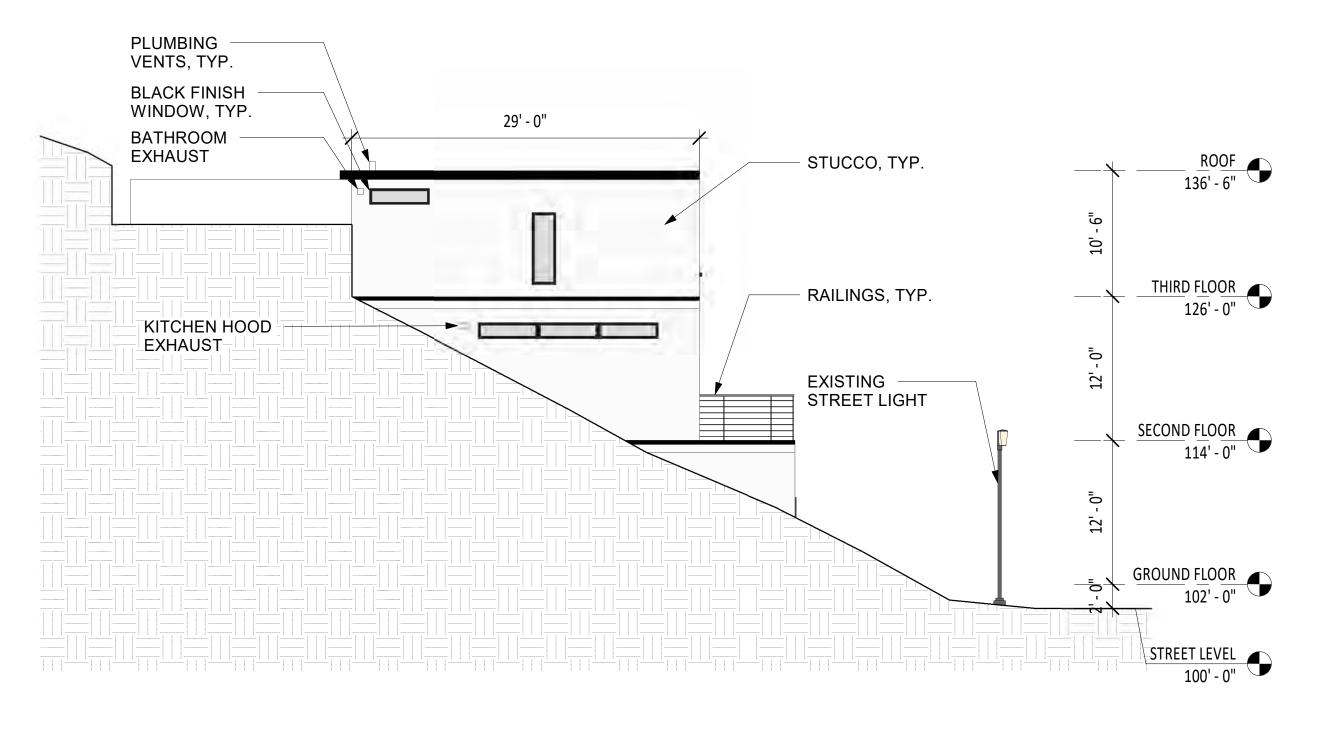
GARAGE DOOR. BLACK FINISH

**DECKS AND REILING:** 

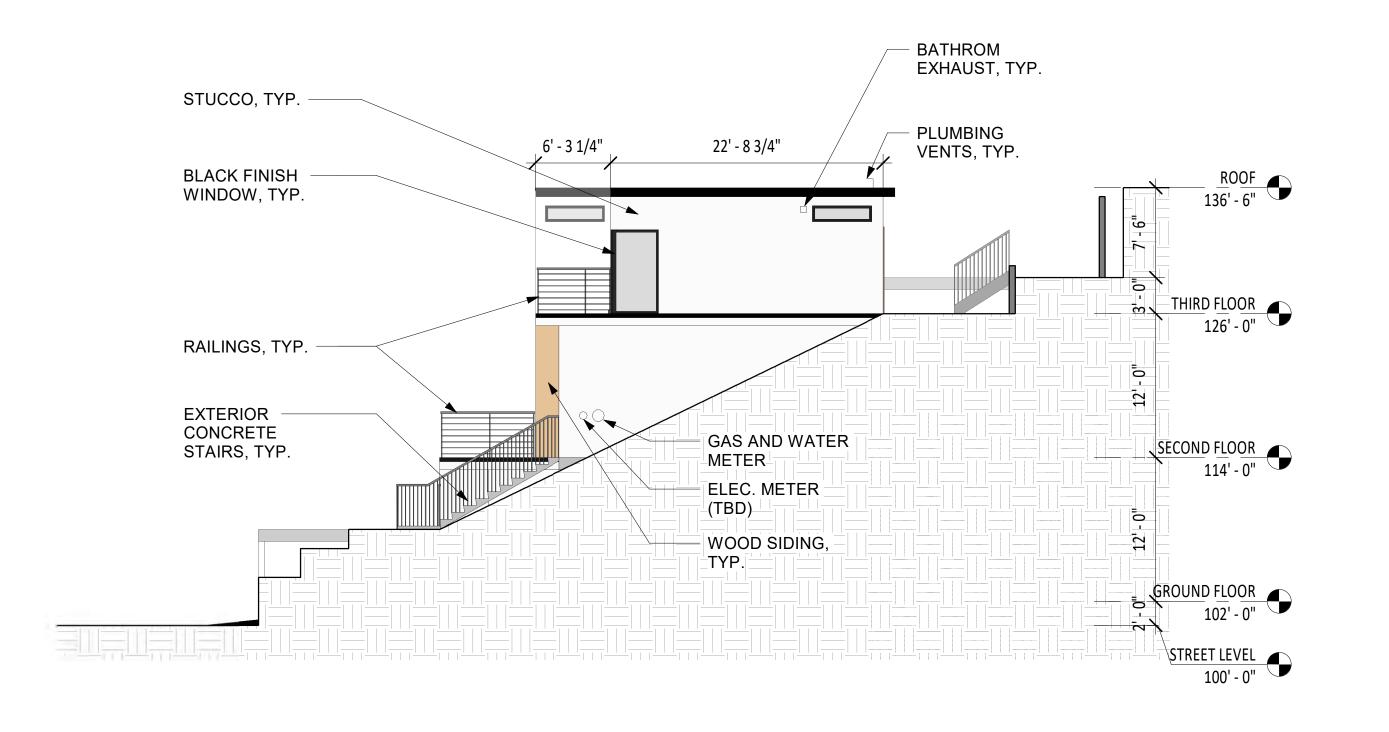
DECKS: COMPOSITE ENGINEERED DECKING - BAMDECK 3G - SLATE RAILING: MODERN CABLE RAILING ALUMINUM & STAINLESS STEEL POSTS. BLACK FINISH

EXTERIOR CONCRETE STAIRS





NORTH ELEVATION
1/8" = 1'-0"

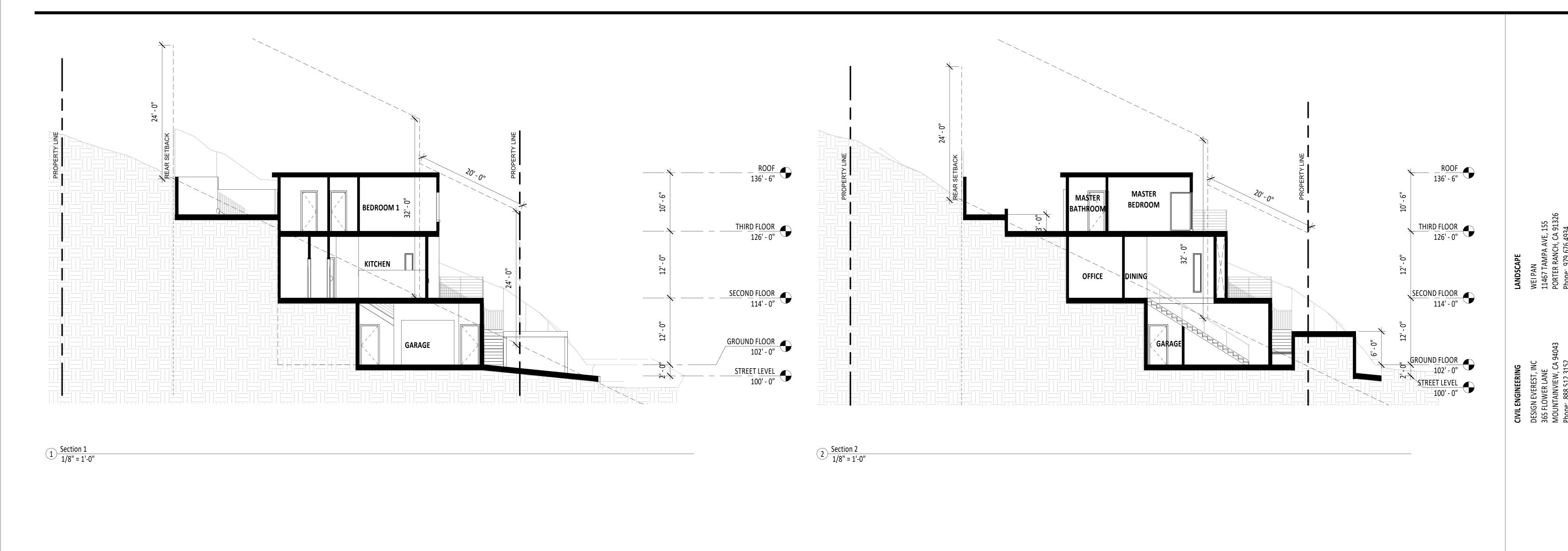


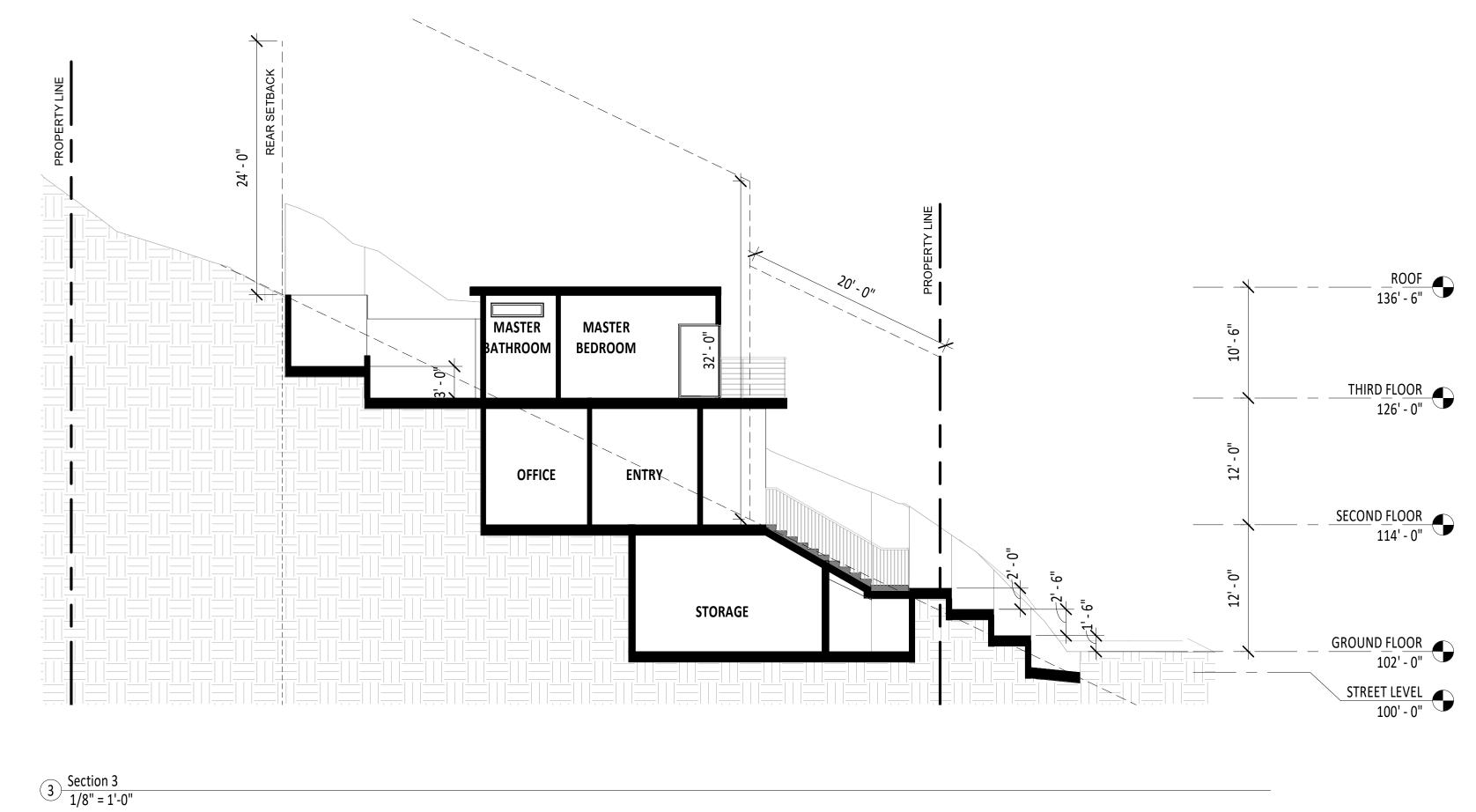
3 SOUTH ELEVATION 1/8" = 1'-0"

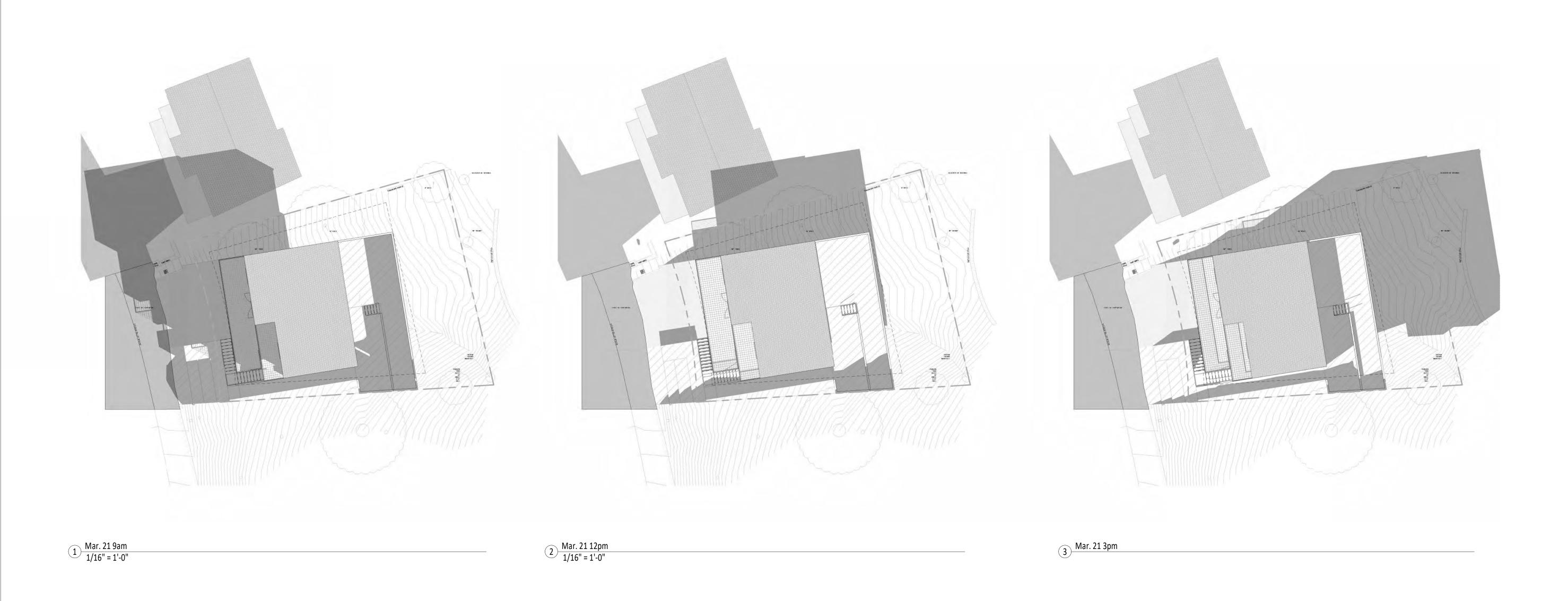
TPO ROOF, TYP. WARM AIR EXHAUST FAN - DRYER VENT PLUMBING - WHOLE HOUSE VENTS, TYP. FAN EXHAUST **BLACK FINISH** - PLUMBING 40' - 0" ∠ VENTS, TYP. WINDOW, TYP. -ROOF 136' - 6" THIRD FLOOR 126' - 0" HOSE BIBB STUCCO, TYP. SECOND FLOOR
114' - 0" GROUND FLOOR 102' - 0" STREET LEVEL 100' - 0"

4 EAST ELEVATION 1/8" = 1'-0"

**BUILDING ELEVATIONS** 









A4.2



