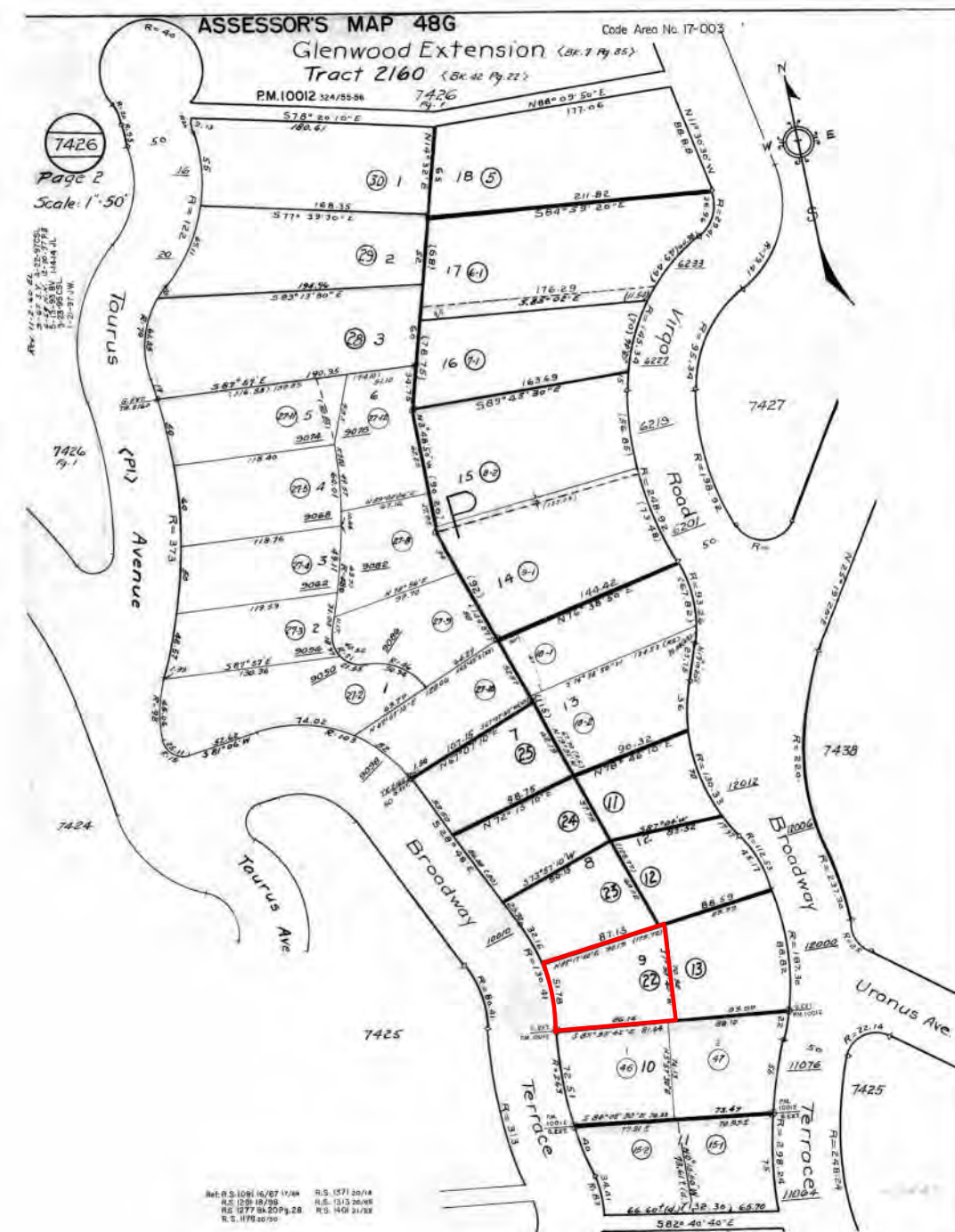


# NEW SINGLE FAMILY HOME IN THE MERRIEWOOD NEIGHBORHOOD

10040 (ASSUMED) BROADWAY TERRACE, OAKLAND, CA 94612

## PARCEL MAP

For Assessment Use Only



## PROJECT LOCATION



## DRAWING INDEX

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L1.0	LANDSCAPE PLAN
SHEET TOTAL: 18	

## PROJECT INFORMATION

### PROJECT INFORMATION

**SITE LOCATION**  
10040 (ASSUMED) BROADWAY TER.  
OAKLAND, CA 94612

**ZONING DISTRICT**  
RH-4/S-9

**APN**  
48G-7426-22

**LOT AREA**  
5,963 SF

**CONSTRUCTION**  
TYPE V WOOD FRAME

**OCCUPANCY TYPE**  
SINGLE FAMILY RESIDENTIAL  
WITH SPRINKLERS

**VERY HIGH FIRE HAZARD  
SEVERITY ZONE OVERLAY -  
EXTERIOR MATERIALS MUST BE  
RATED**

### PROJECT DESCRIPTION

NEW 2,970 SQ.FT. SINGLE FAMILY RESIDENCE ON UPSLOPE LOT WITH 3 BEDROOMS 3 BATHROOMS ON UPPER FLOORS, AND A TWO-CAR GARAGE ON GROUND LEVEL.

### BUILDING SETBACK

Front: 5' MIN.  
Rear: 20'  
Interior Side: 5' MIN.  
Street Side: 5' MIN.

### BUILDING DENSITY AND HEIGHT

FAR: 0.5 MAX. - 0.50 PROPOSED  
Lot Coverage: 40% MAX. - 25.0% PROPOSED

### UPSLOPE LOT FOOTPRINT SLOPE = 48%:

Maximum Wall Height Primary Building: 32'  
Maximum Height Above the Ground Elevation at the Rear Setback Line: 24'  
Maximum Height from Finished or Existing Grade Within 20' of the Front Property Line: 24'

### PARKING REQUIREMENT

2 Spaces/ Dwelling Unit

### BUILDING AREA

LEVEL 1	903 SF
LEVEL 2	1,019 SF
LEVEL 3	1,048 SF
TOTAL	2,970 SF

### IMPERVIOUS COVERAGE

1,490 SF (ROOF+PATIO)

### DRAWING NOTE

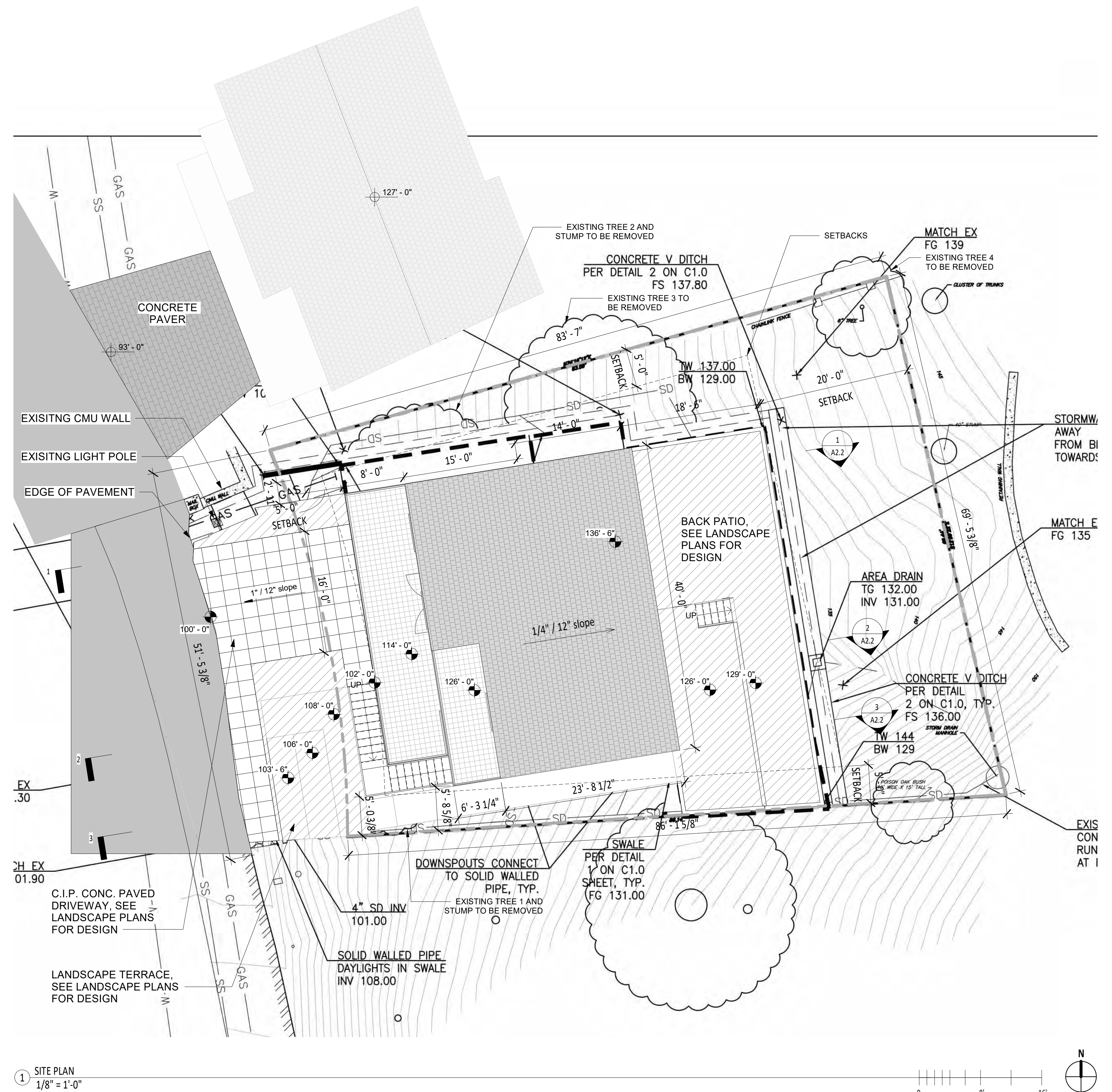
THESE DRAWINGS ARE INTENDED FOR OBTAINING ENTITLEMENTS AND TO ASSIST IN PRICING COST OF CONSTRUCTION, BUT ARE NOT PREPARED FOR BUILDING PERMIT REVIEW, NOR SHALL THEY BE USED FOR CONSTRUCTION PURPOSES.

### DESIGNER STATEMENT:

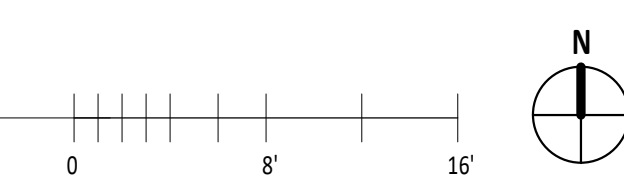
THIS PLOT PLAN, ALL "A" SHEETS HEREWITH IN, HAVE BEEN CREATED BY ME.

I FURTHER STATE THAT ALL GRADES AND SECTIONS DERIVED FROM TOPOGRAPHIC INFORMATION ARE BASED UPON A SURVEY (INCLUDED IN THIS SUBMITTAL) BY ROY OLSEN OF OLSEN LAND SURVEYS AND DIGITAL CAD INFORMATION PROVIDED TO ME FROM THAT OFFICE.

YI WANG - OWNER / DESIGNER



1 SITE PLAN  
1/8" = 1'-0"



**LANDSCAPE**  
WEI PAN  
11467 TAMPA AVE, 155  
PORTER RANCH, CA 91326  
Phone: 979.676.4934

**CIVIL ENGINEERING**  
DESIGN EVEREST, INC  
365 FLOWER LANE  
MOUNTAINVIEW, CA 94043  
Phone: 888.512.3152

ISSUE: 2/21/23  
DRAWN BY: Author

**PROJECT INFORMATION,  
SITE PLAN**

**A0.1**

EXISTING FRONT FACADE ON SITE



PARCEL MAP



NEIGHBOURS FROM NORTH SIDE



1 9086 Broadway Terrace



2 9098 Broadway Terrace



3 9900 Broadway Terrace



4 10008 Broadway Terrace



5 10010 Broadway Terrace

NEIGHBOURS FROM SOUTH SIDE



6 Vacant Lot 1



7 Vacant Lot 2



8 Vacant Lot 3



9 10062 Broadway Terrace



10 10066 Broadway Terrace

NEIGHBOURS ACROSS THE STREET



11 108 Taurus Ave



12 10015 Broadway Terrace



13 10025 Broadway Terrace



14 10033 Broadway Terrace



15 10055 Broadway Terrace



16 10063 Broadway Terrace



17 10065 Broadway Terrace

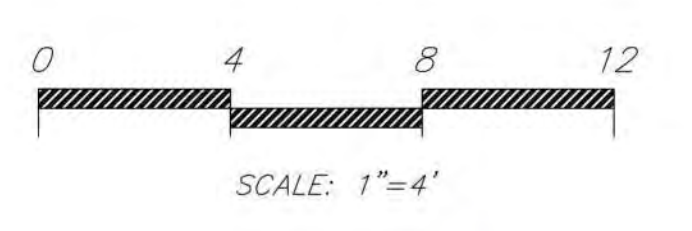
LANDSCAPE  
WEI PAN  
11467 TAMPA AVE, 155  
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DESIGN EVEREST, INC  
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MOUNTAINVIEW, CA 94043  
Phone: 888.512.3152

ISSUE:  
2/21/23  
DRAWN BY:  
Author

CONTEXTUAL PLANS +  
PHOTOS

A0.2



*R. Olsen*  
ROY OLSEN LS9089  
5/13/2021

10040 BROADWAY TERRACE  
OAKLAND, CA

DONG ZHANG  
APN 48G-7426-22

ALAMEDA COUNTY

CALIFORNIA

Drawn By: RO	ROY OLSEN		SHEET
Date: 06/18/2021	ROY OLSEN		1
Scale: 1"=4'	ROY OLSEN		OF 1
Job No.: 21-092	ROY OLSEN		

GreenPoint Rated Checklist: Single Family

The GreenPoint Rated checklist tracks green features incorporated into the home. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rated Rater through Build It Green.



This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless verified by an enforcement agency. All CALGreen measures within the checklist must be selected as 'Yes' or 'No' for compliance with GreenPoint Rated.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated.

Single Family New Home 4.2 / 2008 Title 24

Table for 10040 BROADWAY TERRACE. Columns include Points Achieved, Community, Energy, Water, Resources, and Notes. Sections include A. SITE, B. FOUNDATION, C. LANDSCAPE, and D. PLUMBING.

Table for 10040 BROADWAY TERRACE. Columns include Points Achieved, Community, Energy, Water, Resources, and Notes. Sections include D. STRUCTURAL FRAME & BUILDING ENVELOPE, E. EXTERIOR, F. INSULATION, G. PLUMBING, and H. HEATING, VENTILATION & AIR CONDITIONING.

Table for 10040 BROADWAY TERRACE. Columns include Points Achieved, Community, Energy, Water, Resources, and Notes. Sections include H. HEATING, VENTILATION & AIR CONDITIONING, I. RENEWABLE ENERGY, J. BUILDING PERFORMANCE, and K. FINISHES.

Table for 10040 BROADWAY TERRACE. Columns include Points Achieved, Community, Energy, Water, Resources, and Notes. Sections include L. FLOORING, M. APPLIANCES AND LIGHTING, N. OTHER, and O. COMMUNITY DESIGN & PLANNING.

Table for 10040 BROADWAY TERRACE. Columns include Points Achieved, Community, Energy, Water, Resources, and Notes. Section includes P. INNOVATION.

Table for 10040 BROADWAY TERRACE. Columns include Points Achieved, Community, Energy, Water, Resources, and Notes. Section includes Summary and a list of project notes.

CIVIL ENGINEERING DESIGN EVEREST, INC 365 FLOWER LANE MOUNTAINVIEW, CA 94043 Phone: 888.512.3152

LANDSCAPE WEI PAN 11467 TAMPA AVE, 155 PORTER RANCH, CA 91326 Phone: 979.676.4934

ISSUE: 2/21/23 DRAWN BY: Author GREEN POINT RATING CHECKLIST A0.4

**GENERAL NOTES:**

1. WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OAKLAND STANDARD DETAILS AND SPECIFICATIONS.
2. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECH REPORT.
3. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED 06/18/21 BY ROY ALLAN ROBERT OLSEN.
4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
5. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
6. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
9. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
10. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
11. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
12. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
13. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
14. ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
15. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
16. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
17. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
18. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
19. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
20. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
21. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
22. ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
23. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
24. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
25. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

**LEGEND:**

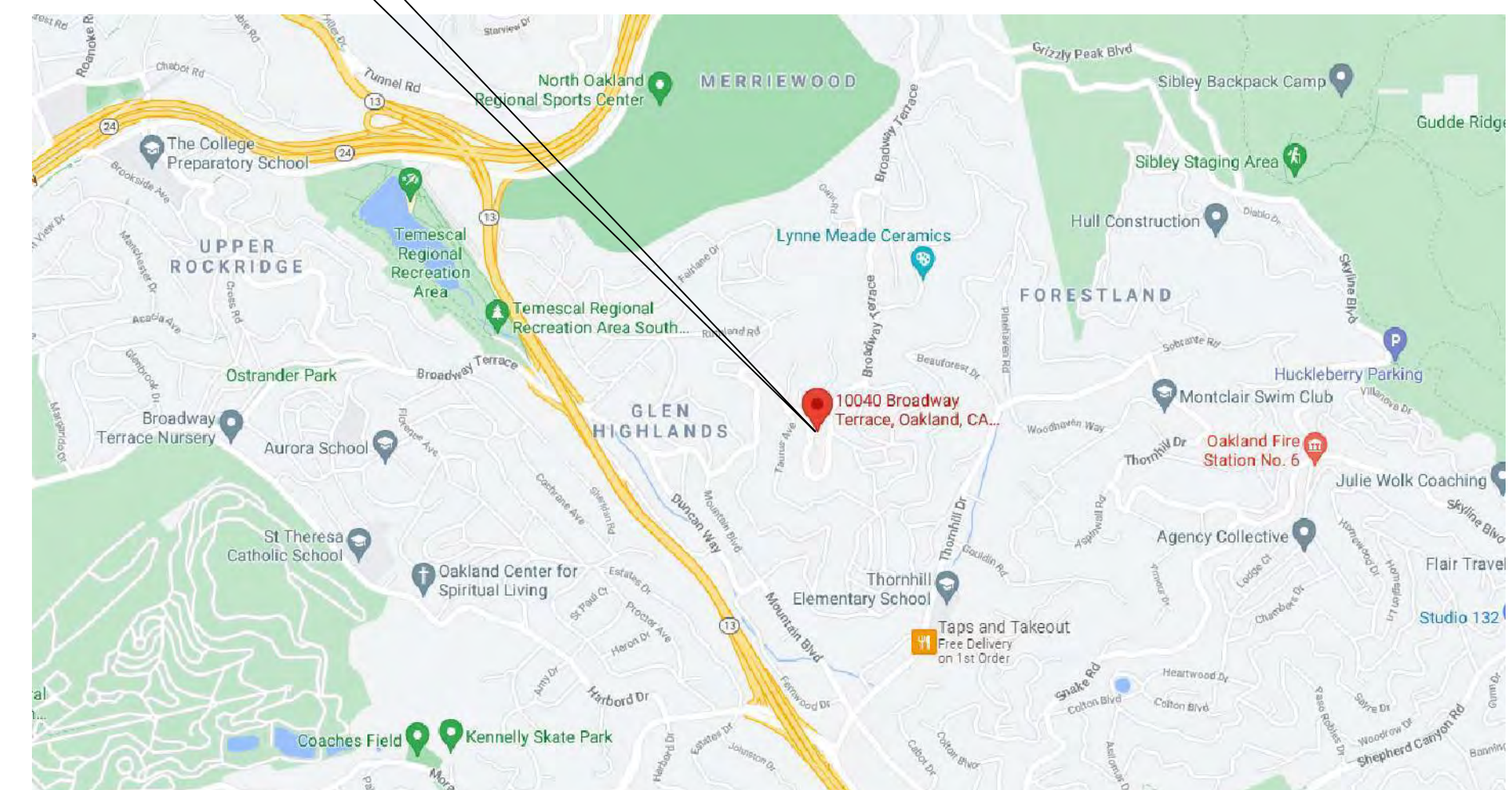
PROPOSED	
	CLEANOUT
	SANITARY SEWER PIPE
	WATER METER BOX. TO BE CONSTRUCTED BY UTILITY COMPANY.
	CONCRETE SIDEWALK PER CITY OF OAKLAND STANDARD DETAILS AND SPECIFICATIONS.
	ASPHALT PER CITY OF OAKLAND STANDARD DETAILS AND SPECIFICATIONS.
	SAWCUT LINE
	DOMESTIC WATER LINE
	STORM DRAIN LINE
	FIRE WATER LINE
	GAS LINE
	ELECTRICAL LINE
	PROPERTY LINE
	LIMIT LINE OF WORK
	CONCRETE/ASPHALT PAVEMENT AND BASE REMOVAL
	DEMOLISH STRUCTURE
	DEMOLISH UTILITY LINE
	EXISTING SURFACE FLOW DIRECTION
	PROPOSED SURFACE FLOW DIRECTION
	SLOPE AND DIRECTION
	SANITARY SEWER CLEANOUT
	METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANY.
	PERFORATED DRAINAGE PIPE
	CONCRETE VALLEY GUTTER
	RETAINING WALL. SEE PLANS BY STRUCTURAL ENGINEER FOR WALL DETAILS.

**ABBREVIATIONS:**

BW	BACK OF WALK
EX	EXISTING
FF	FINISHED FLOOR
FL	FLOW LINE
FM	FORCE MAIN
FS	FINISHED SURFACE
HDPE	HIGH DENSITY POLY ETHYLENE
INV	INVERT
PL	PROPERTY LINE
SDR	STANDARD DIMENSION RATIO
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
TC	TOP OF CURB
W	WATER

SHEET INDEX:	
CIVIL DRAWINGS	
C0.1	CIVIL COVER PLAN
C0.2	EROSION CONTROL AND DEMOLITION PLAN
C0.3	POLLUTION PREVENTION PLAN
C1.0	GRADING AND DRAINAGE PLAN
C2.0	CUT AND FILL
C3.0	UTILITY PLAN

**PROJECT SITE LOCATION**



**VICINITY MAP**  
NOT TO SCALE

**DESIGN EVEREST, INC**  
365 FLOWER LANE  
MOUNTAIN VIEW, CA 94043

FOR SALES: (888) 311-3015  
FOR CONSTRUCTION SUPPORT: (888) 512-3152  
EMAIL: constructionsupport@designeverest.com

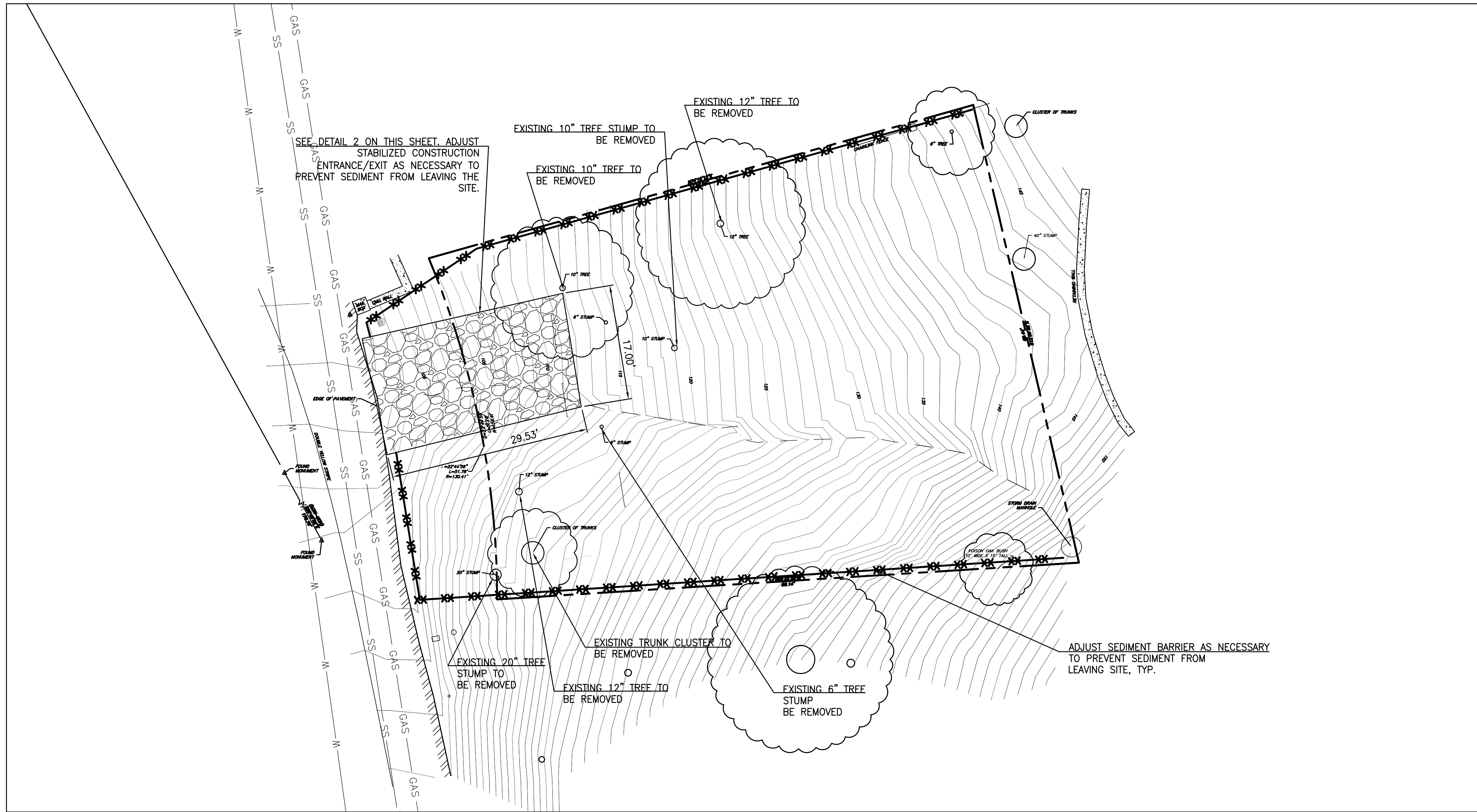
APN: 48G-7426-22  
10040 BROADWAY TERRACE  
OAKLAND, CA

DESCRIPTION	DATE	REV
		1
		2
		3
		4
		5

DATE	DESCRIPTION

SIGN DATE:	02-10-2023
DATE:	AS NOTED
SCALE:	AS NOTED
DRAWN BY:	PM
CKD BY:	PM
PROJECT #:	202108021

CIVIL COVER PLAN  
C0.1



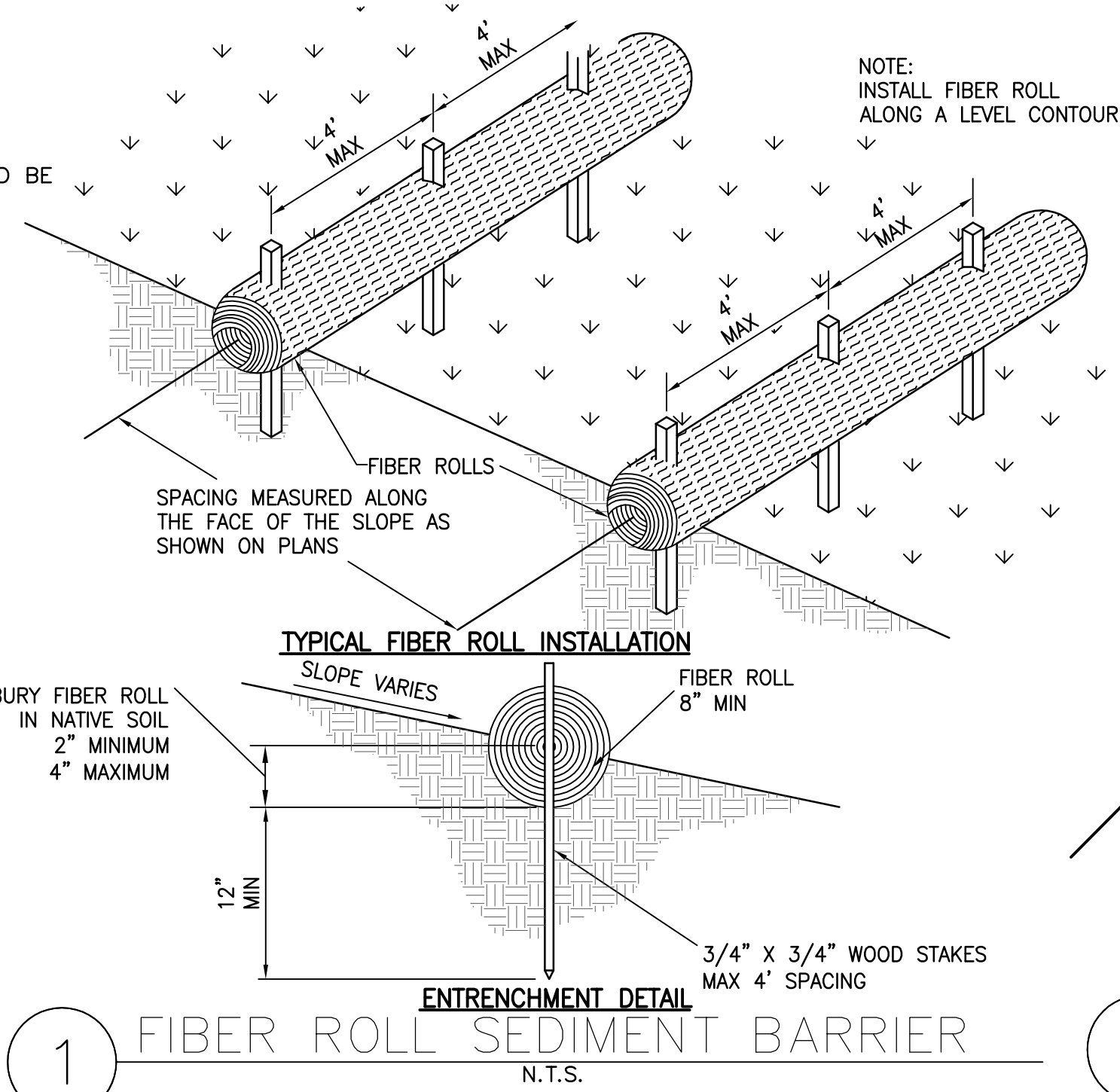
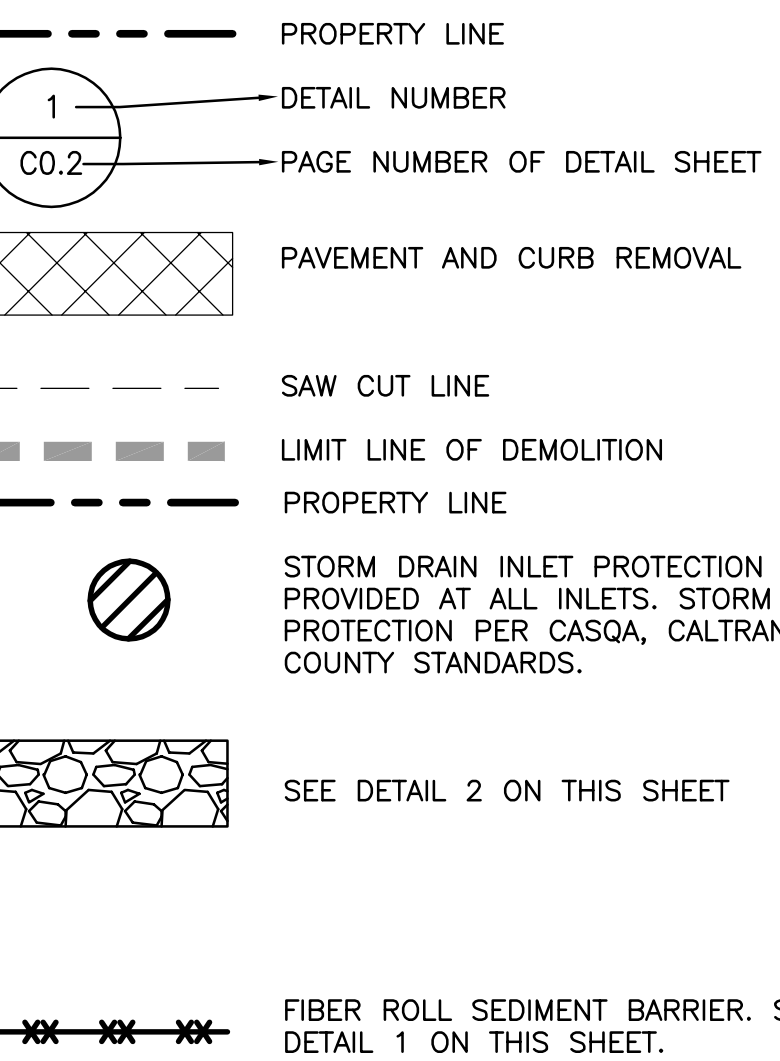
**EROSION CONTROL NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO PREVENT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS, BUT IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN THE SITE AND PREVENT SEDIMENT FROM LEAVING THE SITE.
- THE RAINY SEASON IS DECLARED BY THE STATE WATER RESOURCES CONTROL BOARD (SWRCB). ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AND ACTIONS MAY BE NECESSARY DURING THE RAINY SEASON. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING SUCH MEASURES REQUIRED PER THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA)
- THIS PLAN IS TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED, AS AND WHEN, DIRECTED AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- EXCEPT WHEN DIRECTED OTHERWISE, ALL DEVICES SHOWN TO BE IN PLACE AT THE END OF EACH WORKING DAY, WHEN RAIN IS FORECASTED, AND MAINTAINED.
- TAKE REASONABLE CARE WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. IF DIRT, MATERIALS, OR SEDIMENT BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, THEN THE DIRT, MATERIALS, OR SEDIMENT SHOULD IMMEDIATELY BE CLEANED UP.
- DURING THE RAINY SEASON, KEEP ALL PAVED AREAS CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE CITY INSPECTOR.
- CONTRACTOR PROVIDES DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- FILLED FILTER BAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED, OR WHEN THE CITY OR INSPECTOR SO DIRECTS.
- CONTRACTOR PROVIDES WATER ONSITE AND USE IT FOR DUST CONTROL DURING CONSTRUCTION.
- CONTRACTOR MAINTAINS STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY INSPECTOR.
- INSTALL INLET PROTECTION AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- BEST MANAGEMENT PRACTICES (BMPs) SHOWN ARE OUTLINED IN, BUT NOT LIMITED TO, THE CONSTRUCTION BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), 2009, OR THE LATEST REVISED EDITION, AND APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).
- MAINTENANCE IS TO BE PERFORMED PER THE CASQA BMP HANDBOOK AND AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION BY THE END OF EACH WORKING DAY.
  - INSPECT SEDIMENT TRAPS, BERMS, AND SWALES PERIODICALLY AND AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - REMOVE SEDIMENT AND RESTORE SEDIMENT BARRIER TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF HALF THE SEDIMENT BARRIER HEIGHT.
  - DEPOSIT SEDIMENT THAT HAS BEEN REMOVED FROM BARRIER SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CLEAN OUT INLET PROTECTION WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FILLED FILTER BAG.
- THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SEDIMENT, DUST, AND JOB SITE MATERIALS TO PREVENT THESE MATERIALS FROM LEAVING THE SITE.
- IF VEHICLES ARE USED DURING CONSTRUCTION TO ACCESS THE PROJECT SITE, THEN THE CONTRACTOR SHALL USE DRAIN ROCK AS A GRAVEL ROADWAY/DRIVEWAY FOR THE VEHICLES TO ACCESS THE SITE. THE GRAVEL ROADWAY/ROADWAY SHALL HAVE 8" MINIMUM THICKNESS AND BE WIDE ENOUGH FOR VEHICLES TO ACCESS AND LEAVE THE SITE. CONSTRUCTION ROADWAY/DRIVEWAY SHALL BE APPROVED BY THE CITY'S CONSTRUCTION INSPECTOR OR ENGINEER. THE VEHICULAR ROADWAY/DRIVEWAY SHALL BE ACCOMPANIED WITH A VEHICULAR WASHING STATION. ALL VEHICLES SHALL WASH TIRES AND UNDERSIDE OF VEHICLES AS APPROPRIATE WHEN LEAVING THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY.

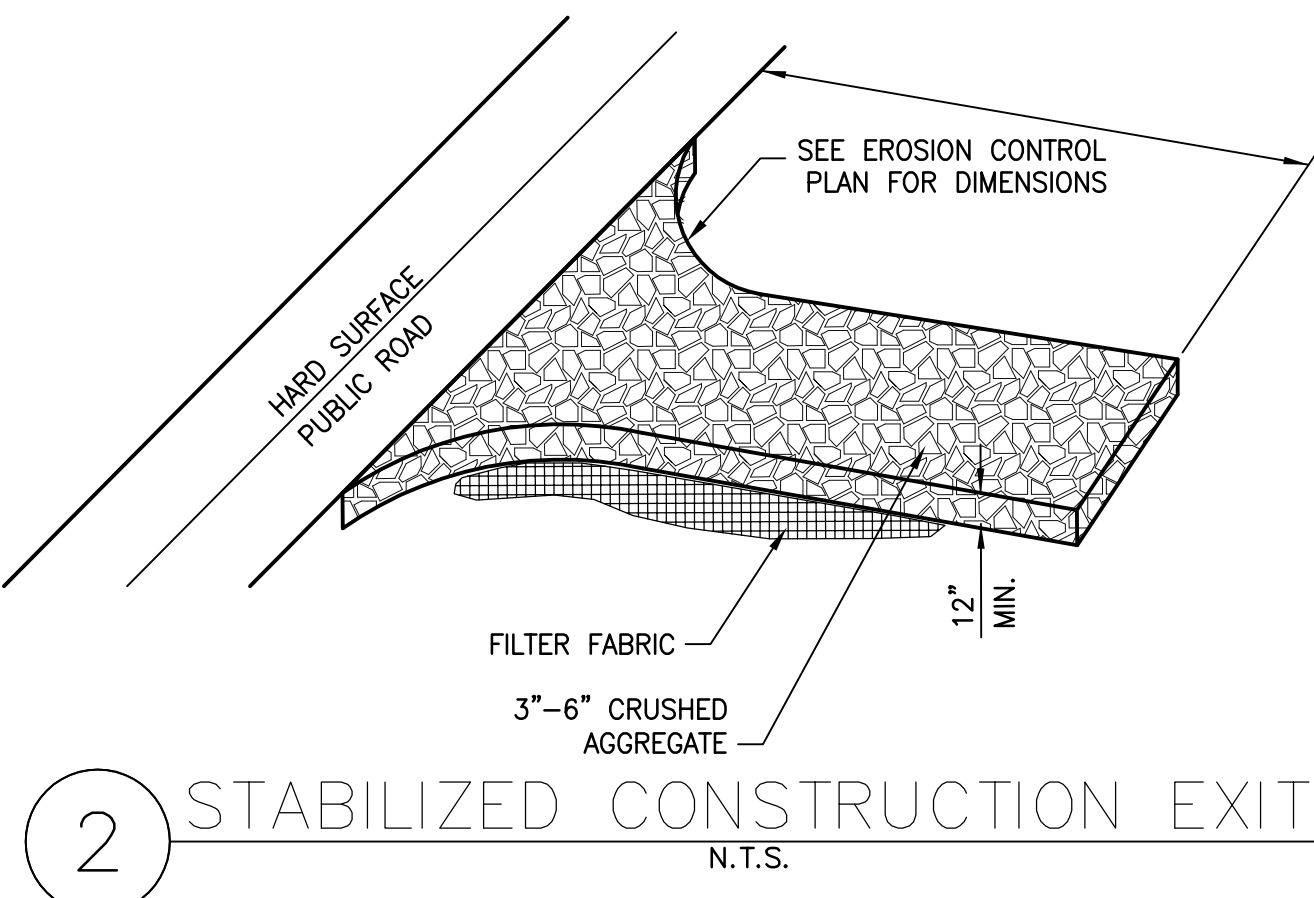
**GENERAL DEMOLITION NOTES:**

- CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.

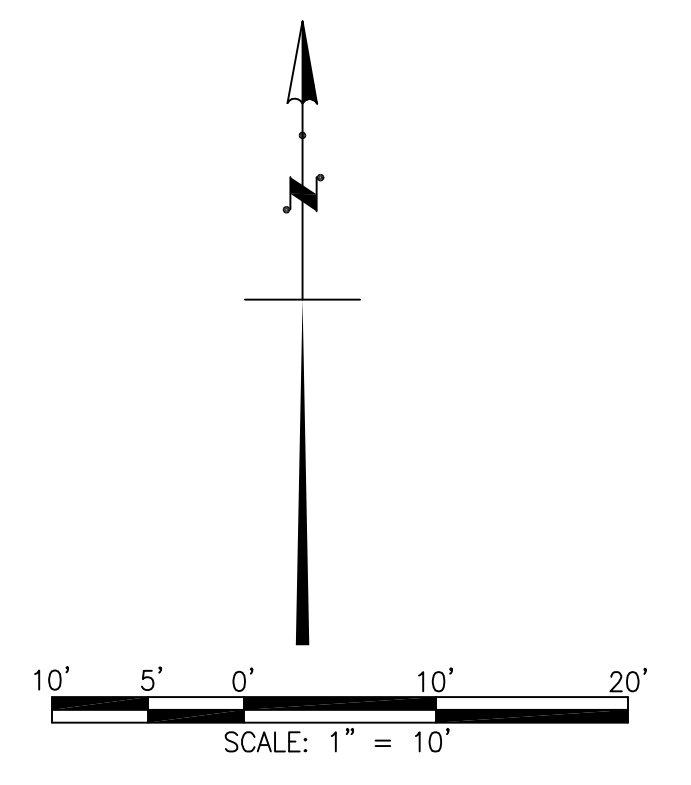
**LEGEND:**



1 FIBER ROLL SEDIMENT BARRIER N.T.S.



2 STABILIZED CONSTRUCTION EXIT N.T.S.



**DESIGN EVEREST, INC.**  
 365 FLOWER LANE  
 MOUNTAIN VIEW, CA 94043  
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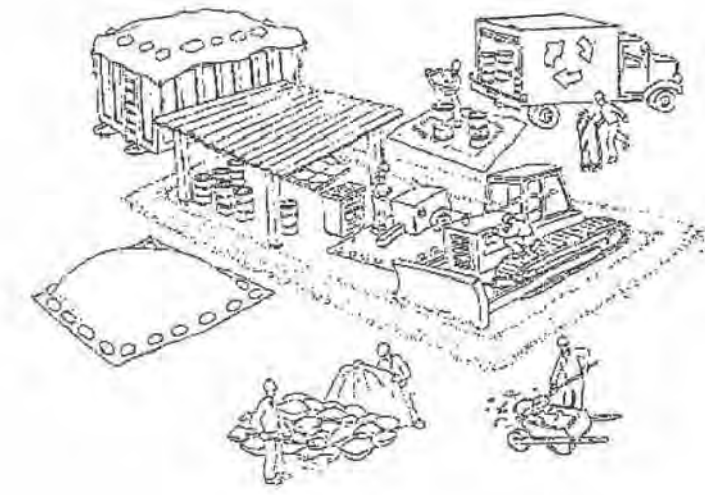
DESCRIPTION	DATE	REV
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		3
		4
		5

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 STATE OF CALIFORNIA  
 No. 85555  
 Patrick MacDonnell

SIGN DATE: 02-10-2023  
 DATE: AS NOTED  
 SCALE: AS NOTED  
 DRAWN BY: PM  
 CKD BY: PM  
 PROJECT #: 202108021

**EROSION CONTROL AND DEMOLITION PLAN**  
 C0.2

# Pollution Prevention - It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with <sup>CITY</sup> AND COUNTY requirements.

### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✔ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Use (but don't overuse) reclaimed water for dust control as needed.
- ✔ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✔ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of OAKLAND Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- ✔ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✔ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- ✔ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✔ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✔ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✔ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✔ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✔ Dispose of all containment and cleanup materials properly.
- ✔ Report any hazardous materials spills immediately! Dial 911 or the OAKLAND Public Works Department by dialing 311

#### Construction Entrances and Perimeter

- ✔ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✔ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

### Vehicle and equipment maintenance & cleaning

- ✔ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✔ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✔ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✔ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✔ Keep excavated soil on the site where it will not collect in the street.
- ✔ Transfer to dump trucks should take place on the site, not in the street.
- ✔ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ✔ Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✔ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✔ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✔ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

### Dewatering operations

- ✔ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- ✔ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✔ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✔ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- ✔ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✔ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✔ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work



- ✔ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✔ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✔ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✔ Do not use water to wash down fresh asphalt concrete pavement.

### Concrete, grout, and mortar storage & waste disposal

- ✔ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✔ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- ✔ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

### Painting

- ✔ Never rinse paint brushes or materials in a gutter or street!
- ✔ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✔ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



### Landscape Materials

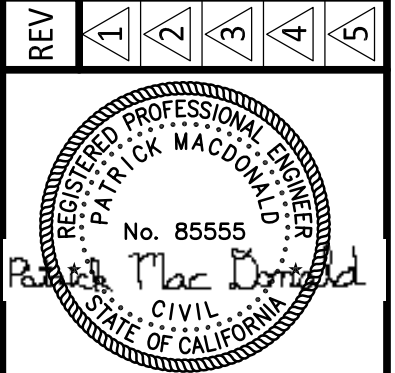
- ✔ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.



APN: 48G-7426-22  
10040 BROADWAY TERRACE  
OAKLAND, CA

DESCRIPTION	DATE

REV	DATE	DESCRIPTION
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SIGN DATE: 02-10-2023

DATE: AS NOTED

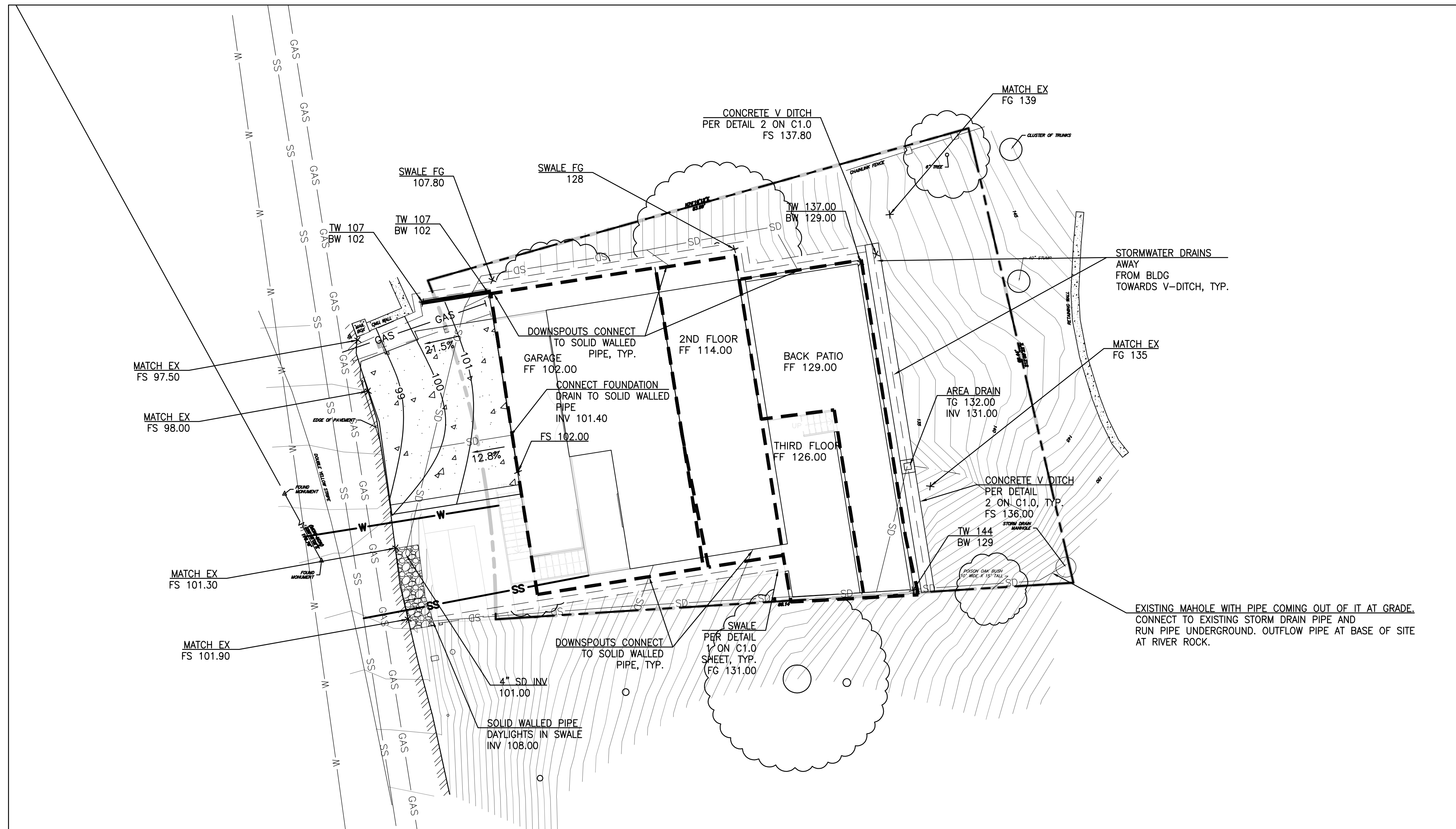
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DRAWN BY: PM

CKD BY: PM

PROJECT #: 202108021

POLLUTION  
PREVENTION  
PLAN



**GRADING AND DRAINAGE PLAN NOTES:**

- PER 2019 CALIFORNIA BUILDING CODE SECTION 1804.4, THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).
- ALL STEPS AND CURBS SHALL BE IN BETWEEN 4" AND 7".
- ELEVATION OF LANDSCAPED AREAS ADJACENT TO SIDEWALKS OR WALKWAYS SHALL BE LESS THAN FOUR INCHES DIFFERENCE PER 1116A.1 OF THE CALIFORNIA BUILDING CODE.
- THRESHOLDS, IF PROVIDED AT DOORWAYS SHALL BE HALF INCH HIGH MAXIMUM PER CALIFORNIA BUILDING CODE 11B-404.2.5.
- PROVIDE LEVEL LANDING AT DOORWAYS PER CALIFORNIA BUILDING CODE. DEPTH OF LEVEL LANDING SHALL NOT BE LESS THAN 44" AND MAX SLOPE IN ANY DIRECTION OF LEVEL LANDING SHALL BE TWO PERCENT.
- PER CALIFORNIA PLUMBING CODE, SANITARY SEWER HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGNMENT AND A UNIFORM SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT (20.8 MM/M) OR 2 PERCENT TOWARD THE POINT OF DISPOSAL PROVIDED THAT, WHERE IT IS IMPRACTICAL DUE TO THE DEPTH OF THE STREET SEWER, TO THE STRUCTURAL FEATURES, OR TO THE ARRANGEMENT OF A BUILDING OR STRUCTURE TO OBTAIN A SLOPE OF 1/4 INCH PER FOOT (20.8 MM/M) OR 2 PERCENT, SUCH PIPE OR PIPING 4 INCHES (100 MM) OR LARGER IN DIAMETER SHALL BE PERMITTED TO HAVE A SLOPE OF NOT LESS THAN 1/8 INCH PER FOOT (LOA MM/M) OR 1 PERCENT, WHERE FIRST APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- SLOPE OF STORM DRAIN PIPE SHALL TYPICALLY PROVIDE VELOCITY OF STORMWATER IN BETWEEN 2 FEET PER SECOND AND 5 FEET PER SECOND.

**CUT AND FILL NOTES:**

CUT AND FILL NUMBERS ARE BASED ON USING CAD PROGRAM TO COMPARE EXISTING GRADES WITH PROPOSED GRADES SHOWN ON THE GRADING PLAN. CUT AND FILL NUMBERS ARE ESTIMATES.

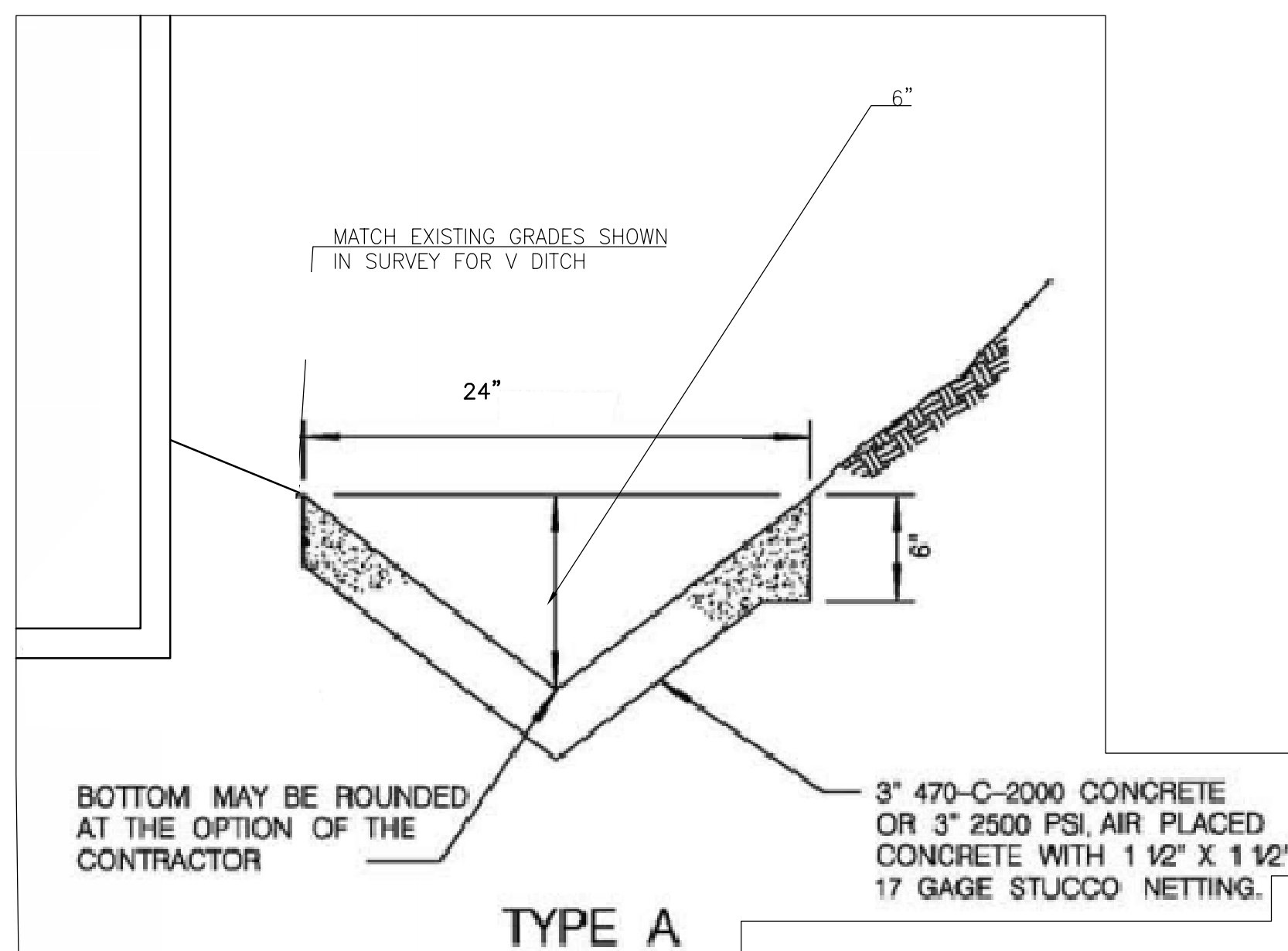
TOTAL CUT: 443.81 CUBIC YARDS  
 TOTAL FILL: 55.50 CUBIC YARDS  
 NET CUT: 388.30 CUBIC YARDS

**LEGEND:**

- EXISTING SURFACE FLOW DIRECTION
- PROPOSED SURFACE FLOW DIRECTION
- 27% SLOPE AND DIRECTION
- (E) EXISTING
- E — ELECTRICAL SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS.
- W — WATER PIPE
- SS — 4" HDPE SDR 21 SEWER PIPE, OR APPROVED EQUAL
- SANITARY SEWER CLEANOUT
- METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANIES.
- - - - - PROPERTY LINE
- - - - - SAWCUT LINE

**ABBREVIATIONS:**

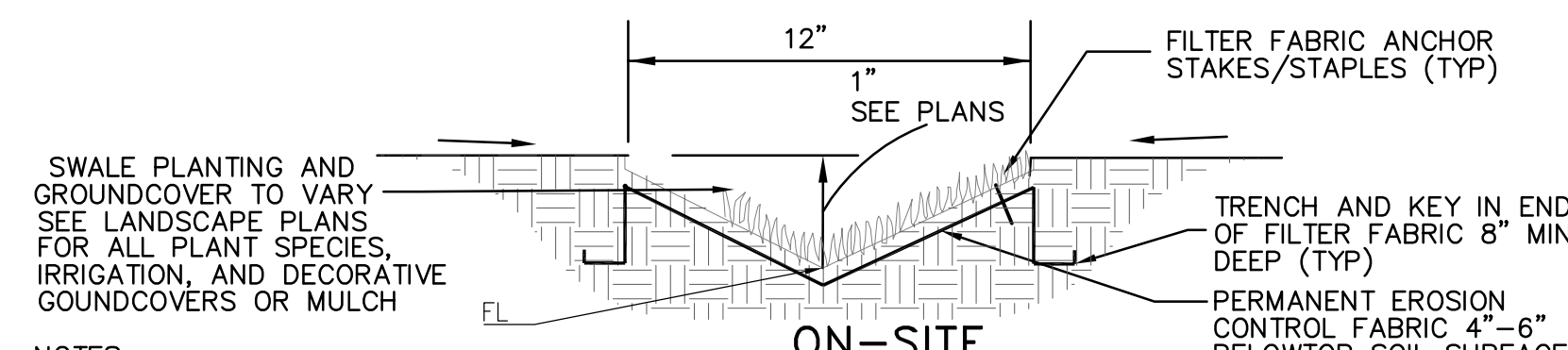
- EG EXISTING GROUND
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GROUND
- FL FLOW LINE
- FM FORCE MAIN
- FS FINISHED SURFACE
- HDPE HIGH DENSITY POLY ETHYLENE
- INV INVERT
- LF LINEAR FEET
- PL PROPERTY LINE
- SD STORM DRAIN
- SDR STANDARD DIMENSION RATION
- SSCO SANITARY SEWER CLEAN OUT



- NOTES:**
- LONGITUDINAL SLOPE OF LINED DITCH SHALL BE 2% MINIMUM.
  - OVER SLOPE DOWN DITCHES SHALL EMPLOY 6" THICKENED EDGE SECTION AT BOTH SIDES OF DITCH.
  - STUCCO NETTING SHALL BE GALVANIZED AND SHALL HAVE 1 1/2" COVER.

**CONCRETE V DITCH DETAIL**  
N.T.S.

2



- SWALE PLANTING AND GROUND COVER TO VARY SEE LANDSCAPE PLANS FOR ALL PLANT SPECIES, IRRIGATION, AND DECORATIVE GROUNDCOVERS OR MULCH**
- NOTES:**
- ALL GRASS SWALES SHALL BE LINED WITH A PERMANENT EROSION CONTROL FABRIC SUCH AS ENKAMAT 7000 SERIES OR EQUIVALENT.  
 A) ENKAMAT CONTACT INFORMATION:  
 P.O. BOX 1057, SAND HILL ROAD  
 ENKA, NC 28728  
 PHONE: 1-800-365-7391 / 1-828-665-5050
  - THE CONTRACTOR SHALL HANDLE, STORE, PLACE AND INSTALL/ANCHOR THE PERMANENT EROSION CONTROL FABRIC IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION SPECIFICATIONS AND DETAILS.
  - ALL PLANTING, MAINTENANCE, AND IRRIGATION SHALL BE PER THE LANDSCAPE ARCHITECTS PLAN. ALL PLANTING SHALL CONTINUE TO THE EDGE OF INLETS TO ENSURE FULL TREATMENT OF STORM WATER.



**ALAMEDA COUNTY C3 STORMWATER REQUIREMENTS:**

- PERMIT REQUIREMENTS FOR SMALL PROJECTS
- PROJECTS THAT CREATE AND/OR REPLACE 2,500 SQUARE FEET OR MORE OF IMPERVIOUS SURFACE. APPLICABLE PROJECTS MUST IMPLEMENT AT LEAST ONE OF THE FOLLOWING SITE DESIGN MEASURES:
- DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS FOR USE.
  - ☒ DIRECT ROOF RUNOFF ONTO VEGETATED AREAS.
  - DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
  - DIRECT RUNOFF FROM DRIVEWAYS/UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
  - CONSTRUCT SIDEWALKS, WALKWAYS, AND/OR PATIOS WITH PERMEABLE SURFACES.
  - CONSTRUCT BIKE LANES, DRIVEWAYS, AND/OR UNCOVERED PARKING LOTS WITH PERMEABLE SURFACES.

THIS PROJECT MEETS ALAMEDA COUNTY STORMWATER STANDARDS BY DIRECTING RUNOFF FROM ROOF TOWARDS VEGETATED SWALE.

**DESIGN EVEREST, INC.**  
 365 FLOWER LANE  
 MOUNTAIN VIEW, CA 94043  
 FOR SALES: PHONE: (888) 311-3015  
 FOR CONSTRUCTION SUPPORT: PHONE: (888) 512-3152  
 EMAIL: constructionsupport@designeverest.com

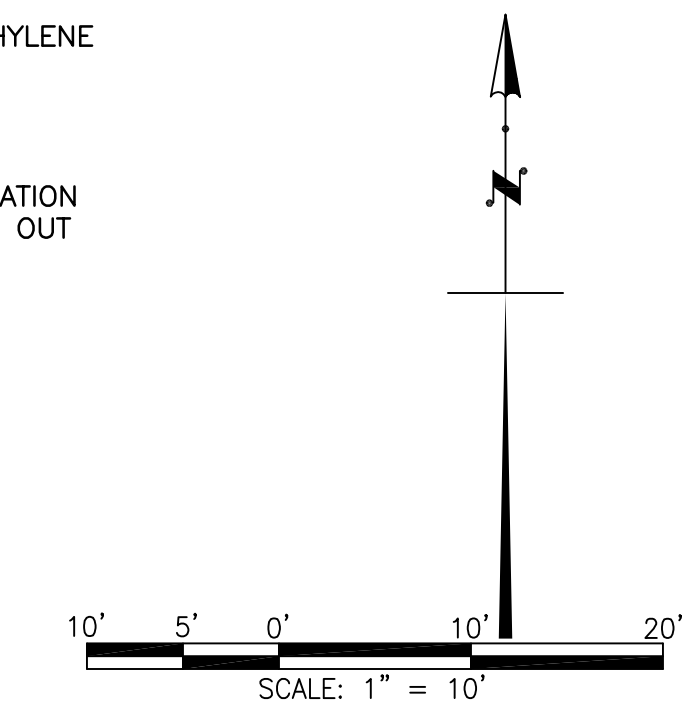
APN: 48G-7426-22  
 10040 BROADWAY TERRACE  
 OAKLAND, CA

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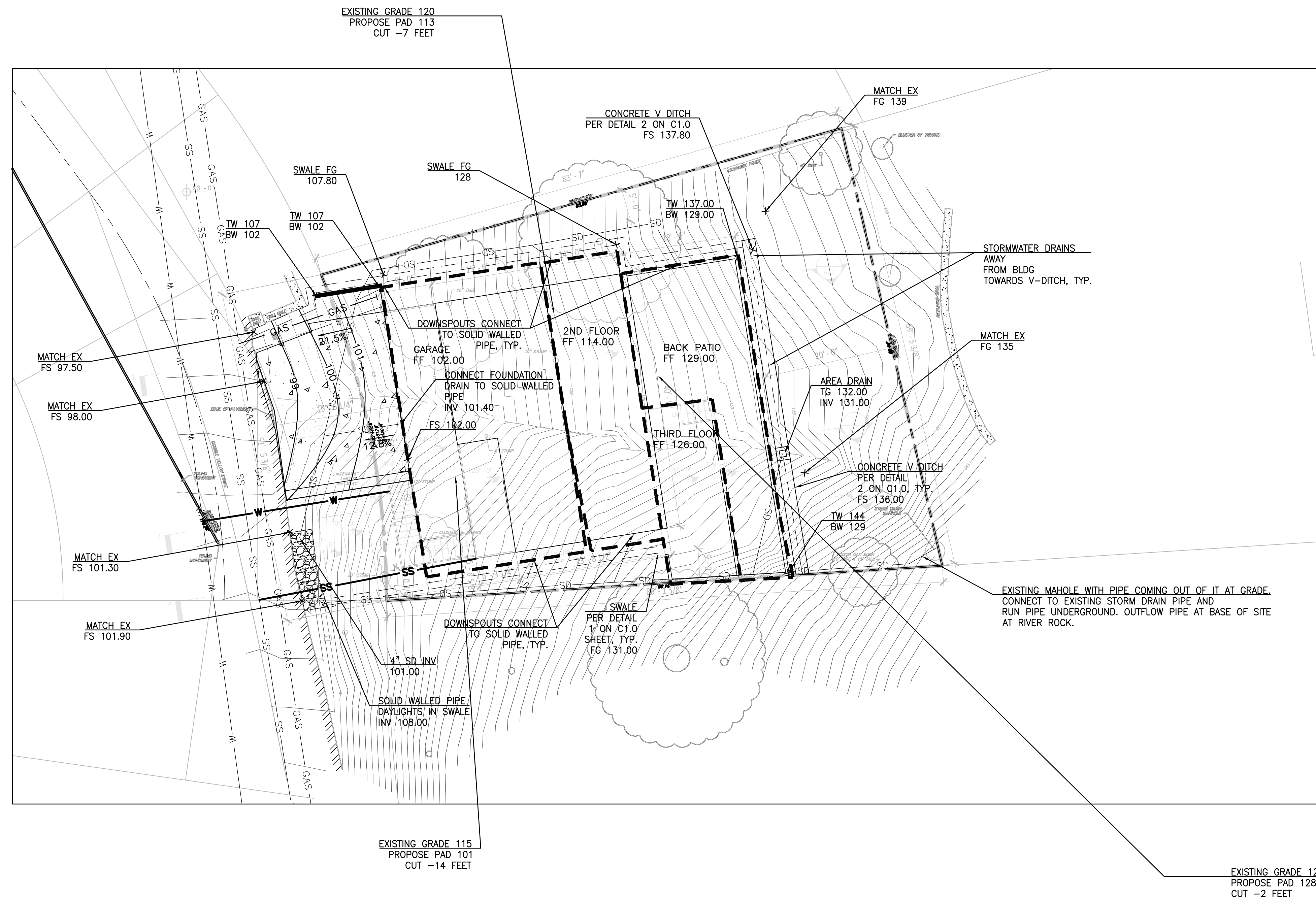
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 DATE: AS NOTED  
 SCALE: AS NOTED  
 DRAWN BY: PM  
 CKD BY: PM  
 PROJECT #: 202108021

**GRADING AND DRAINAGE PLAN**

C1.0







**CUT AND FILL NOTES:**

CUT AND FILL NUMBERS ARE BASED ON USING CAD PROGRAM TO COMPARE EXISTING GRADES WITH PROPOSED GRADES SHOWN ON THE GRADING PLAN. CUT AND FILL NUMBERS ARE ESTIMATES.

TOTAL CUT: 443.81 CUBIC YARDS  
TOTAL FILL: 55.50 CUBIC YARDS

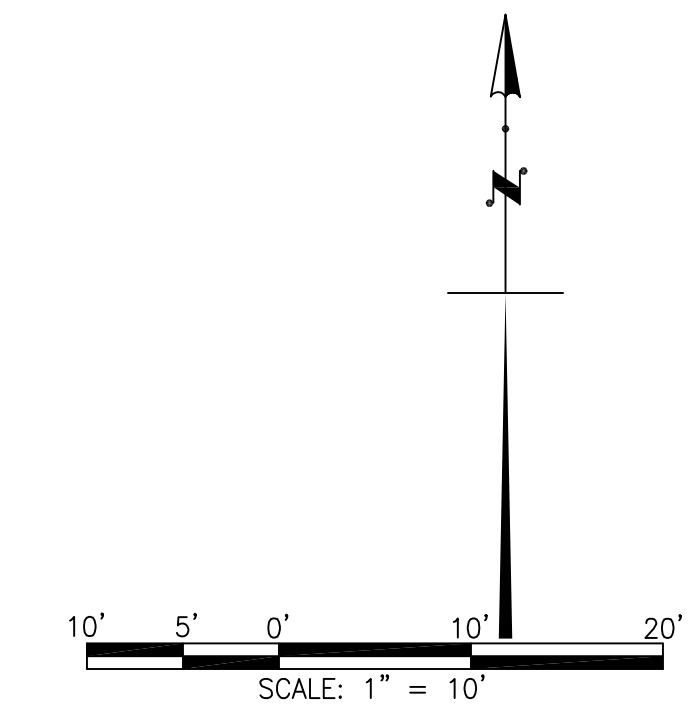
NET CUT: 388.30 CUBIC YARDS

**LEGEND:**

- EXISTING SURFACE FLOW DIRECTION AWAY FROM BLDG TOWARDS V-DITCH, TYP.
- PROPOSED SURFACE FLOW DIRECTION
- 27% SLOPE AND DIRECTION
- (E) EXISTING
- ELECTRICAL SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS.
- WATER PIPE
- 4" HDPE SDR 21 SEWER PIPE, OR APPROVED EQUAL
- SANITARY SEWER CLEANOUT
- METER BOX, TYPICALLY INSTALLED BY UTILITY COMPANIES.
- PROPERTY LINE
- SAWCUT LINE

**ABBREVIATIONS:**

- EG EXISTING GROUND
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GROUND
- FL FLOW LINE
- FM FORCE MAIN
- FS FINISHED SURFACE
- HDPE HIGH DENSITY POLY ETHYLENE
- INV INVERT
- LF LINEAR FEET
- PL PROPERTY LINE
- SD STORM DRAIN
- SDR STANDARD DIMENSION RATION
- SSCO SANITARY SEWER CLEAN OUT



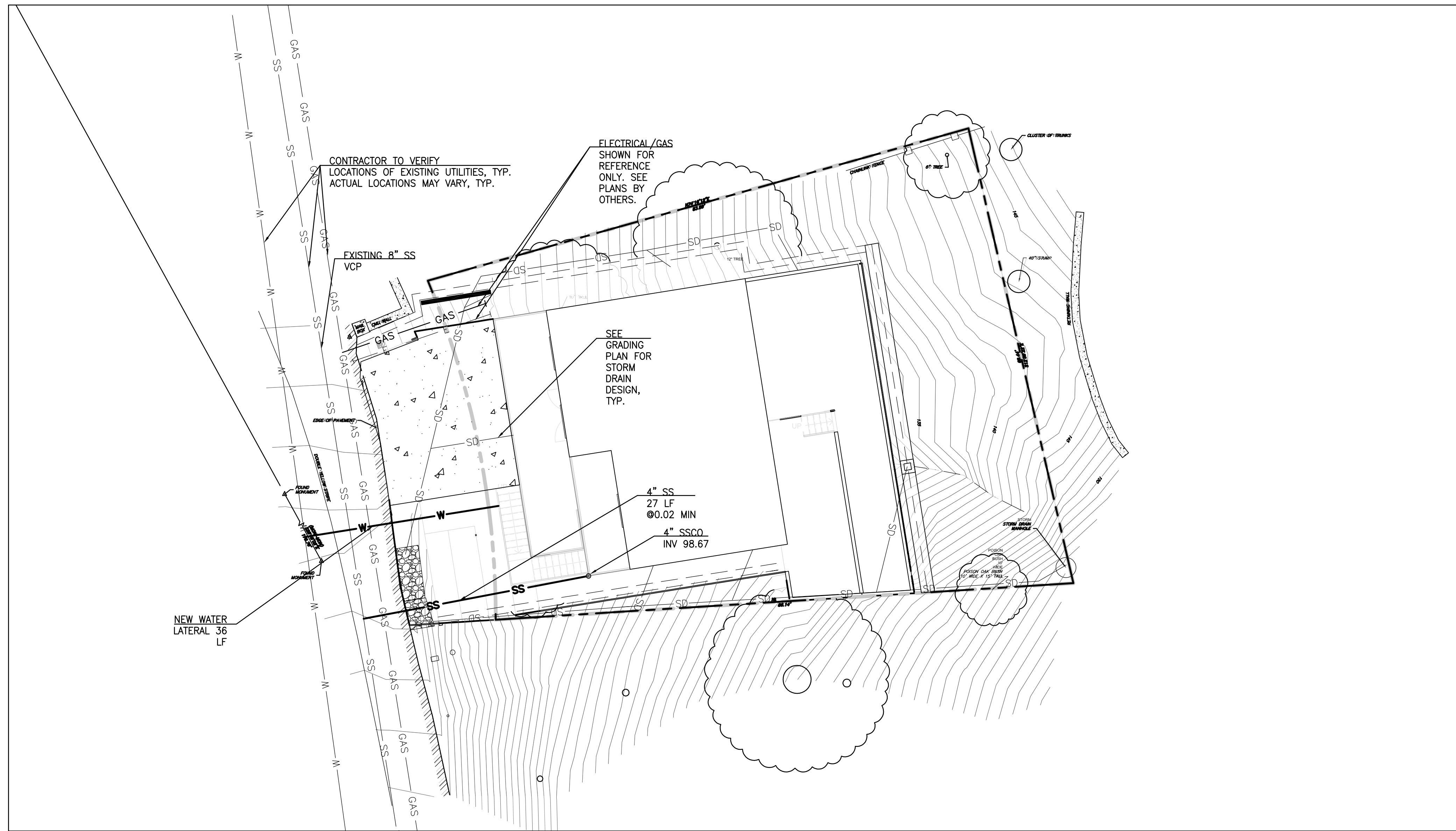
**DESIGN EVEREST, INC**  
365 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES: PHONE: (888) 311-3015  
FOR CONSTRUCTION SUPPORT: PHONE: (888) 512-3152  
EMAIL: constructionsupport@designeverest.com

APN: 48G-7426-22  
10040 BROADWAY TERRACE  
OAKLAND, CA

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SIGN DATE: 02-10-2023  
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SCALE: AS NOTED  
DRAWN BY: PM  
CKD BY: PM  
PROJECT #: 202108021  
CUT AND FILL PLAN  
C2.0





**UTILITY NOTES:**

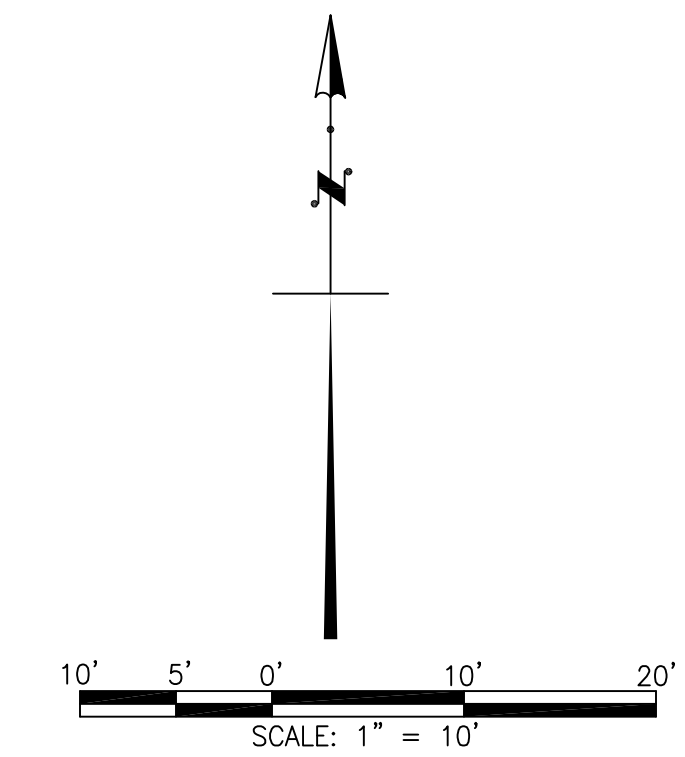
1. UTILITY PIPES AND STRUCTURES SHALL BE INSTALLED AT LEAST FIVE FEET FROM THE EDGE OF EXISTING OR PROPOSED TREE BASINS.
2. SEWER PIPE SHALL BE HDPE SDR 21 OR APPROVED EQUAL.
3. UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE TRENCH DETAILS AND NOTES SHOWN ON THE DETAILS SHEET.
4. SEE GRADING PLAN FOR STORM DRAINAGE DESIGN.
5. UTILITY CROSSINGS SHOULD HAVE AT LEAST ONE FOOT OF VERTICAL SEPARATION IN BETWEEN THE CROSSING UTILITIES.

**LEGEND:**

- W — WATER PIPE
- SS — 4" HDPE SDR 21 SEWER PIPE
- SANITARY SEWER CLEANOUT
- METER BOX, TYPICALLY INSTALLED BY UTILITY COMPANIES.
- - - - - PROPERTY LINE
- ├───┤ UTILITY STUB, SEE PLANS BY OTHERS FOR UTILITY CONNECTION.

**ABBREVIATIONS:**

- EG EXISTING GROUND
- EX EXISTING
- HDPE HIGH DENSITY POLY ETHYLENE
- INV INVERT
- PL PROPERTY LINE
- SDR STANDARD DIMENSION RATION
- SSCO SANITARY SEWER CLEAN OUT



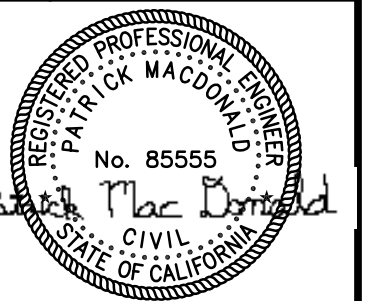
**DESIGN EVEREST, INC**

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MOUNTAIN VIEW, CA 94043

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SIGN DATE: 02-10-2023

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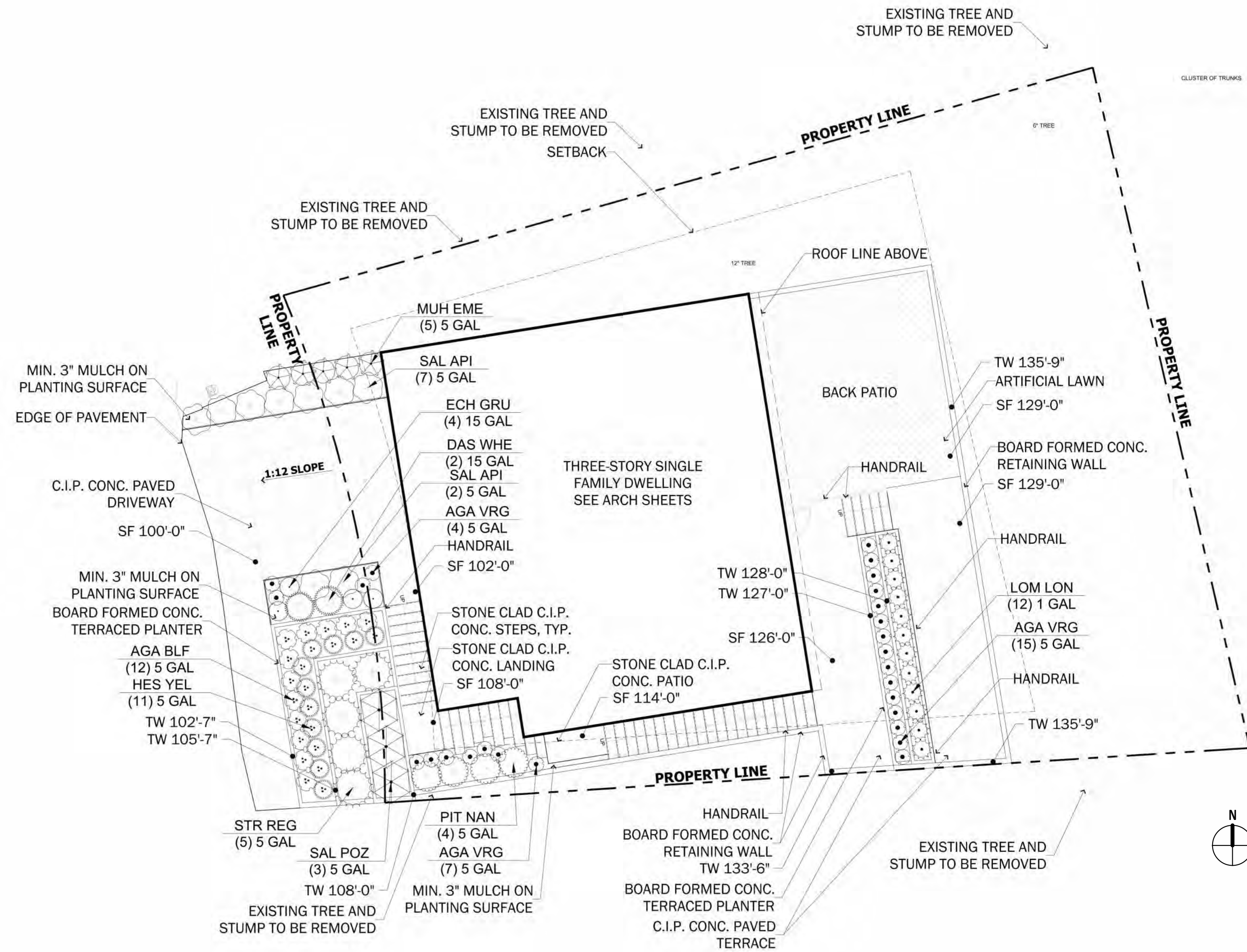
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PROJECT #: 202108021

UTILITY PLAN

C3.0



### PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	IRRIGATION METHOD	QTY
	AGA VRG	AGAVE VICTORIAE-REGINAE	QUEEN VICTORIA AGAVE	5 GAL	18" o.c.	DRIP IRRIGATION	26
	AGA BLF	AGAVE X 'BLUE FLAME'	BLUE FLAME AGAVE	5 GAL	24" o.c.	DRIP IRRIGATION	12
	DAS WHE	DASYLIRION WHEELERI	GREY DESERT SPOON	15 GAL	36" o.c.	DRIP IRRIGATION	2
	ECH GRU	ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	15 GAL	24" o.c.	DRIP IRRIGATION	4
	HES YEL	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	24" o.c.	DRIP IRRIGATION	11
	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	24" o.c.	DRIP IRRIGATION	12
	MUH EME	MUHLENBERGIA EMERSLEYI 'EL TORO'	BULLGRASS	5 GAL	30" o.c.	DRIP IRRIGATION	5
	PIT NAN	PITTOSPORUM CRASSIFOLIUM 'NANA'	DWARF KARO PITTOSPORUM	5 GAL	36" o.c.	DRIP IRRIGATION	4
	SAL API	SALVIA APIANA	WHITE SAGE	5 GAL	36" o.c.	DRIP IRRIGATION	9
	SAL POZ	SALVIA X 'POZO BLUE'	POZO BLUE SAGE	5 GAL	48" o.c.	DRIP IRRIGATION	3
	STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	48" o.c.	DRIP IRRIGATION	5

**NOTE:**

NEW LANDSCAPING AREA: 447.00 SF

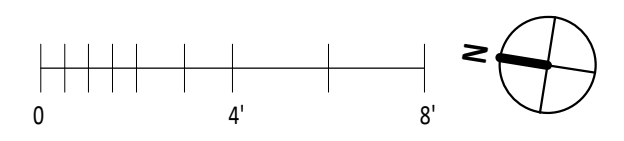
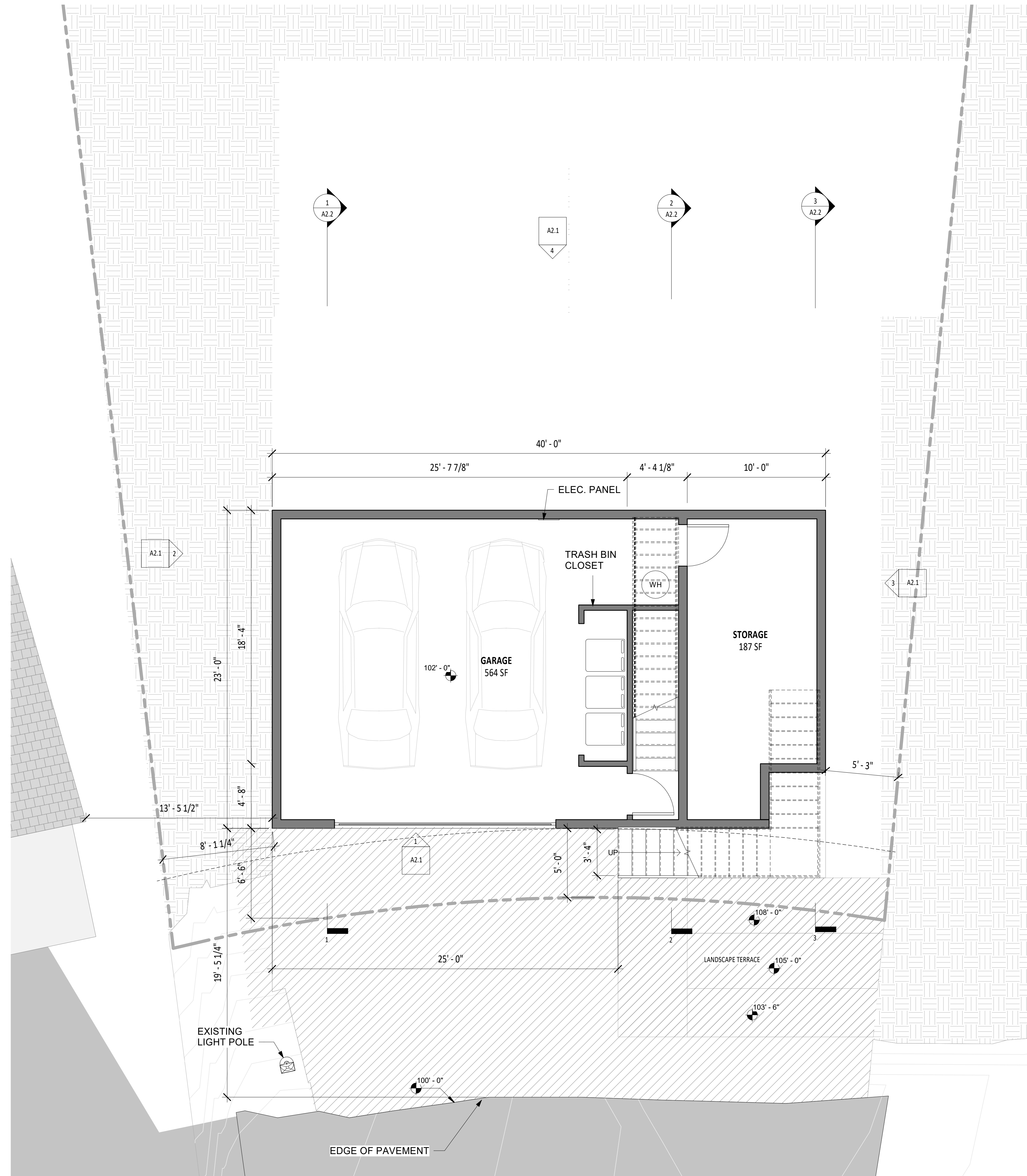
FRONT YARD HARDSCAPE PAVING RATIO: 50%

1 SITE PLAN  
1/8" = 1'-0"

LANDSCAPE  
WEI PAN  
11467 TAMPA AVE, 155  
PORTER RANCH, CA 91326  
Phone: 979.676.4934

CIVIL ENGINEERING  
DESIGN EVEREST, INC  
365 FLOWER LANE  
MOUNTAINVIEW, CA 94043  
Phone: 888.512.3152

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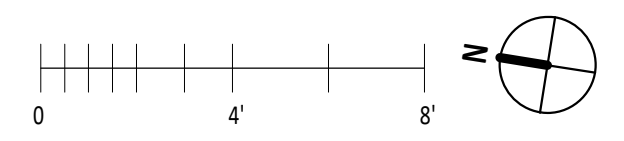
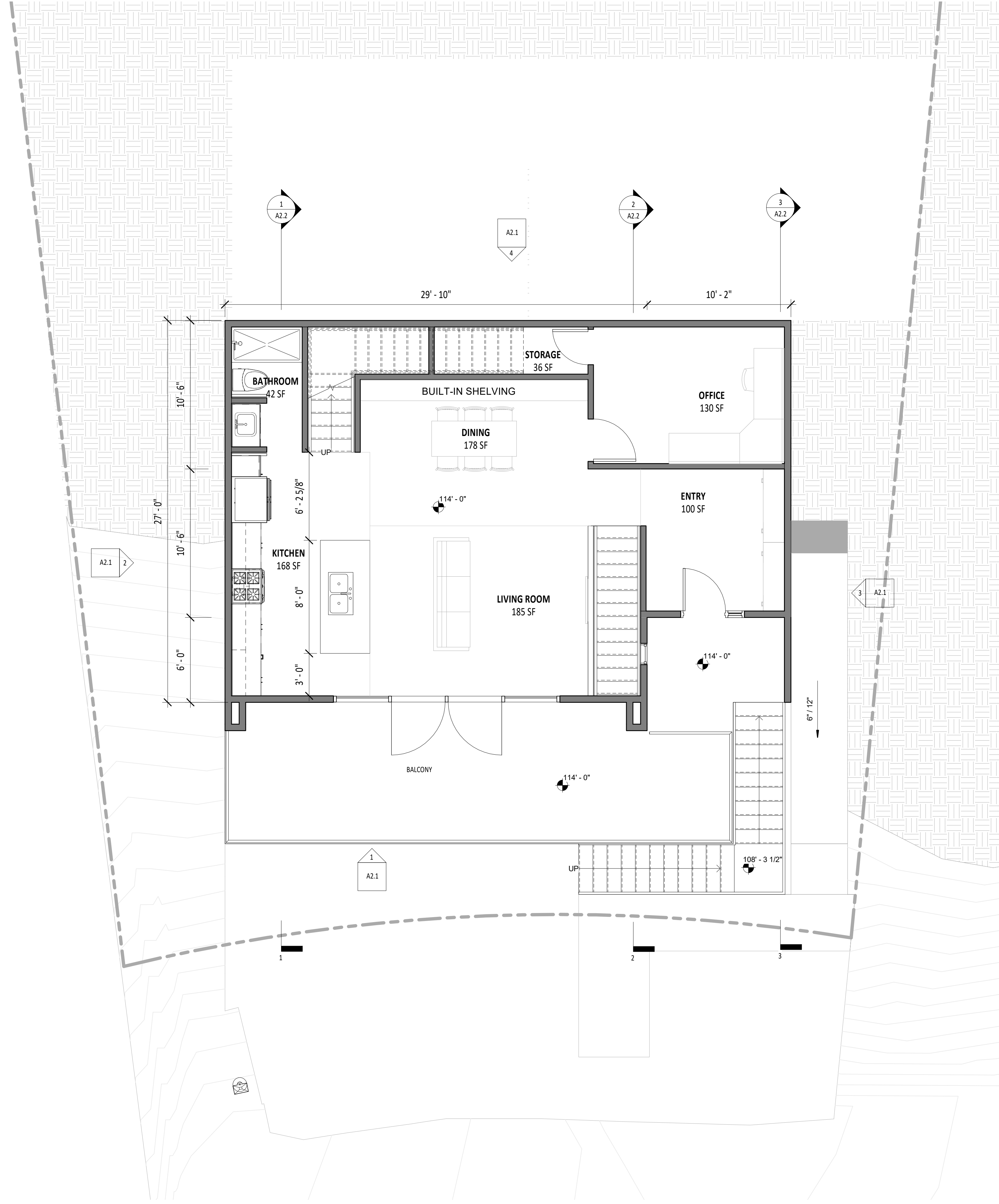
**GROUND FLOOR PLAN**

**A1.1**

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Author

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LANDSCAPE  
WEI PAN  
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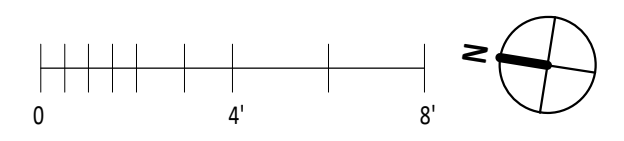
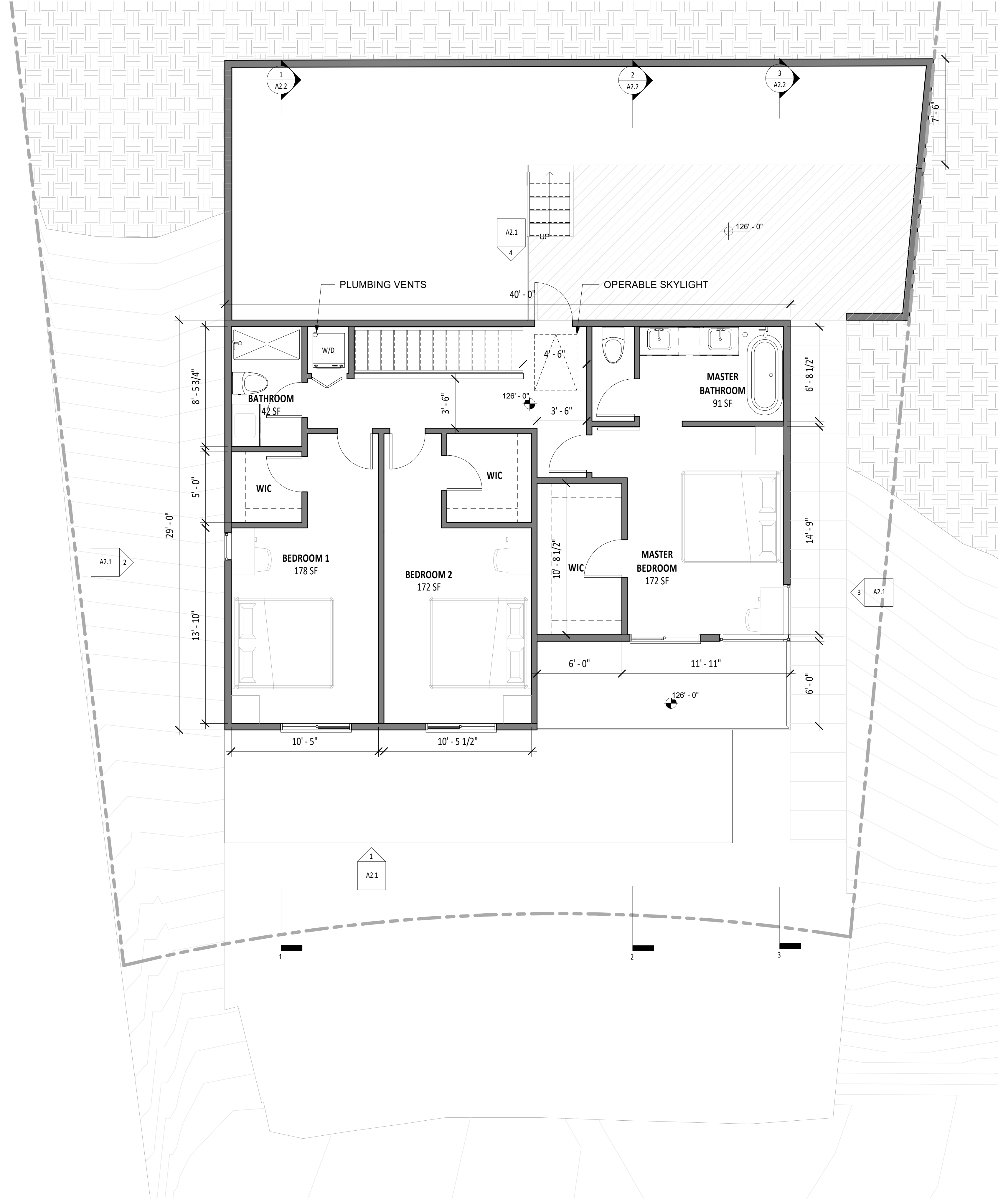
# SECOND FLOOR PLAN

## A1.2

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Author

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LANDSCAPE  
WEI PAN  
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PORTER RANCH, CA 91326  
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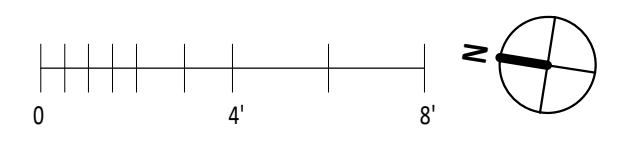
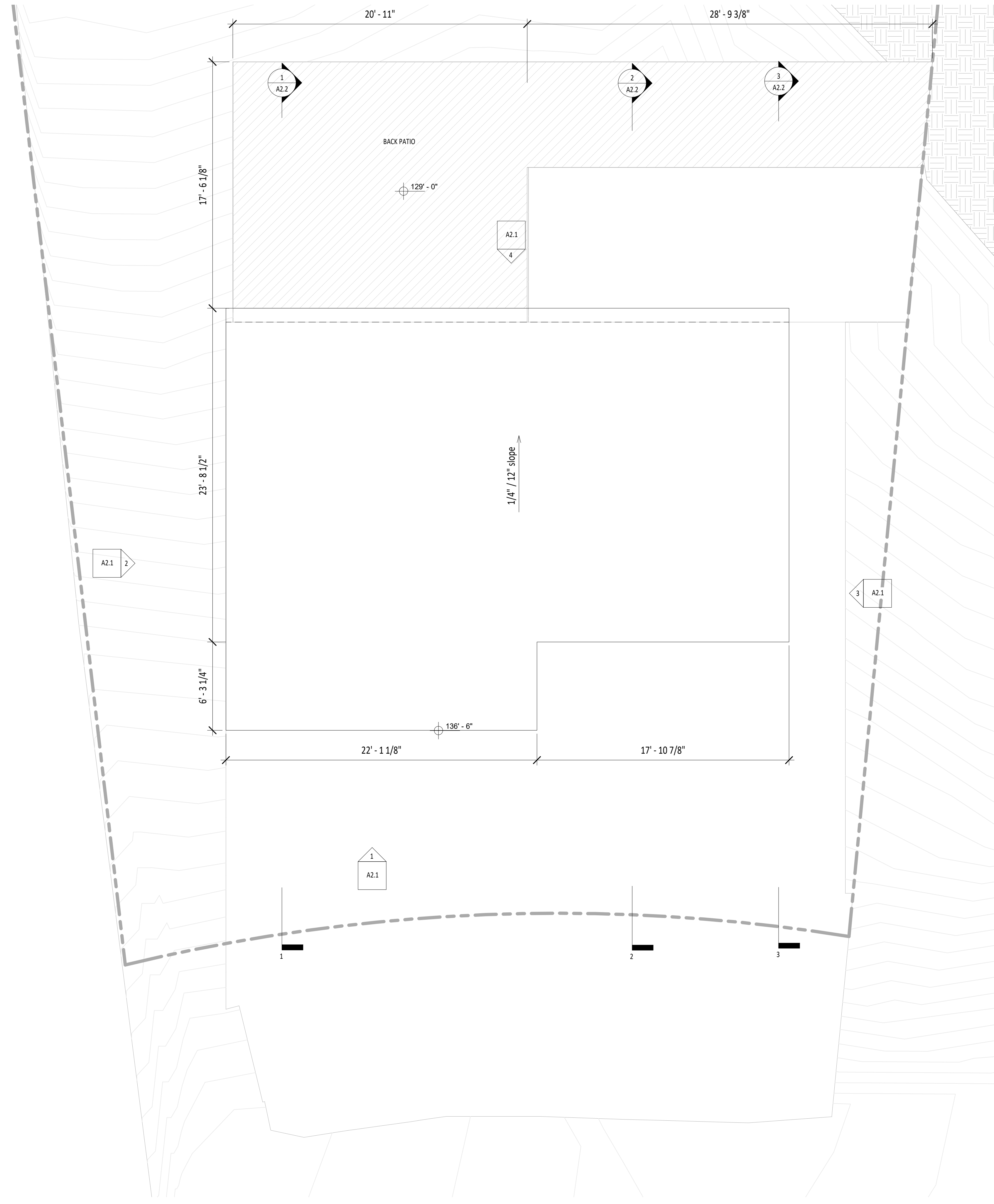
**THIRD FLOOR PLAN**

**A1.3**

ISSUE: 2/21/23  
 DRAWN BY: Author

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 DESIGN EVEREST, INC  
 365 FLOWER LANE  
 MOUNTAINVIEW, CA 94043  
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LANDSCAPE  
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 PORTER RANCH, CA 91326  
 Phone: 979.676.4934



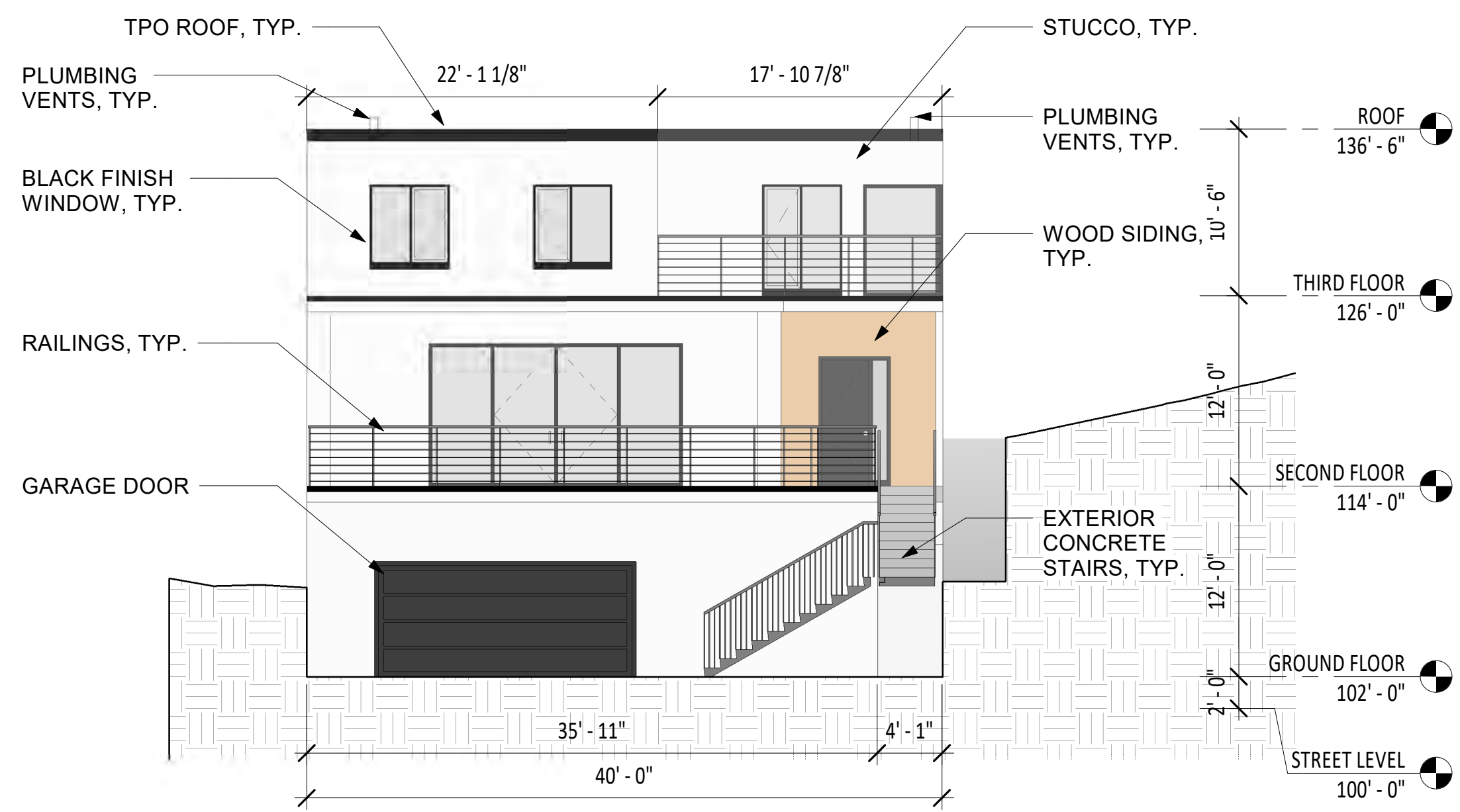
# ROOF PLAN

## A1.4

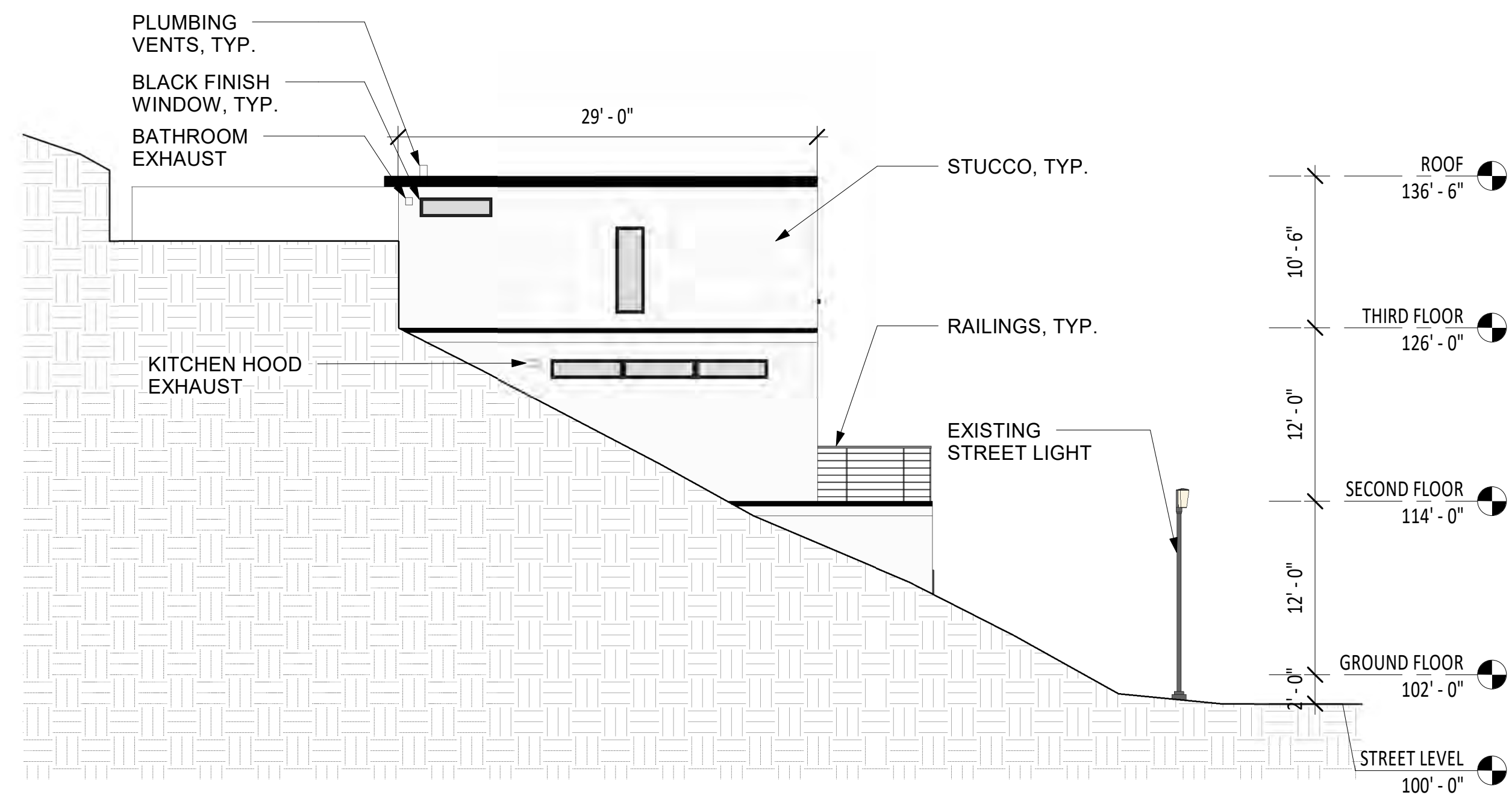
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Author

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DESIGN EVEREST, INC  
365 FLOWER LANE  
MOUNTAINVIEW, CA 94043  
Phone: 888.512.3152

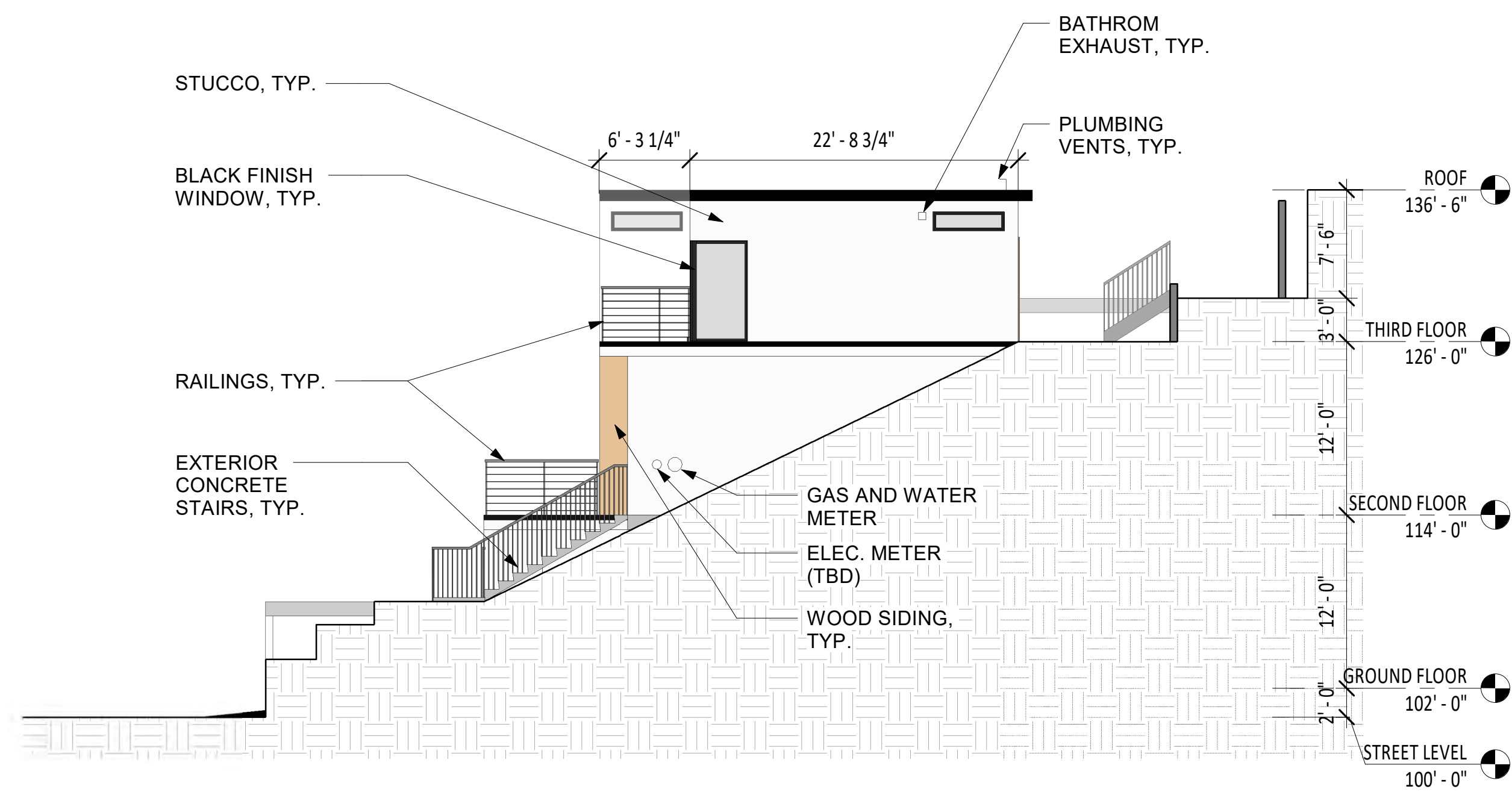
LANDSCAPE  
WEI PAN  
11467 TAMPA AVE, 155  
PORTER RANCH, CA 91326  
Phone: 979.676.4934



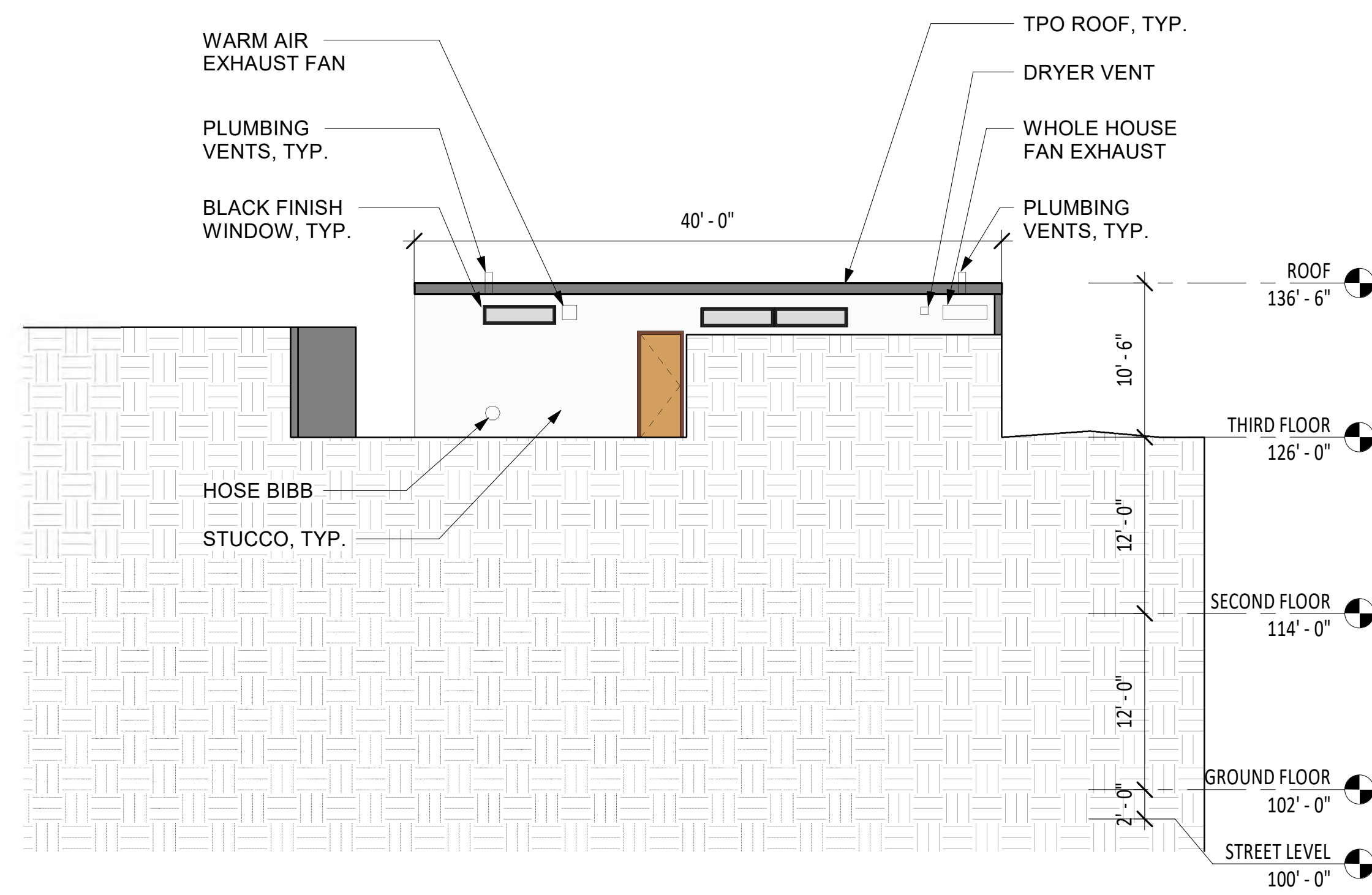
1 WEST ELEVATION  
1/8" = 1'-0"



2 NORTH ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



4 EAST ELEVATION  
1/8" = 1'-0"

### ELEVATION NOTES

**ALL MATERIALS TO MEET HIGH FIRE DANGER ZONE RESTRICTIONS**

**ROOF:**  
TPO ROOF, WHITE COLOR

**WALLS:**  
SMOOTH ACRYLIC STUCCO - WHITE AND BLACK FINISH  
WOOD SIDING AT MAIN ENTRY

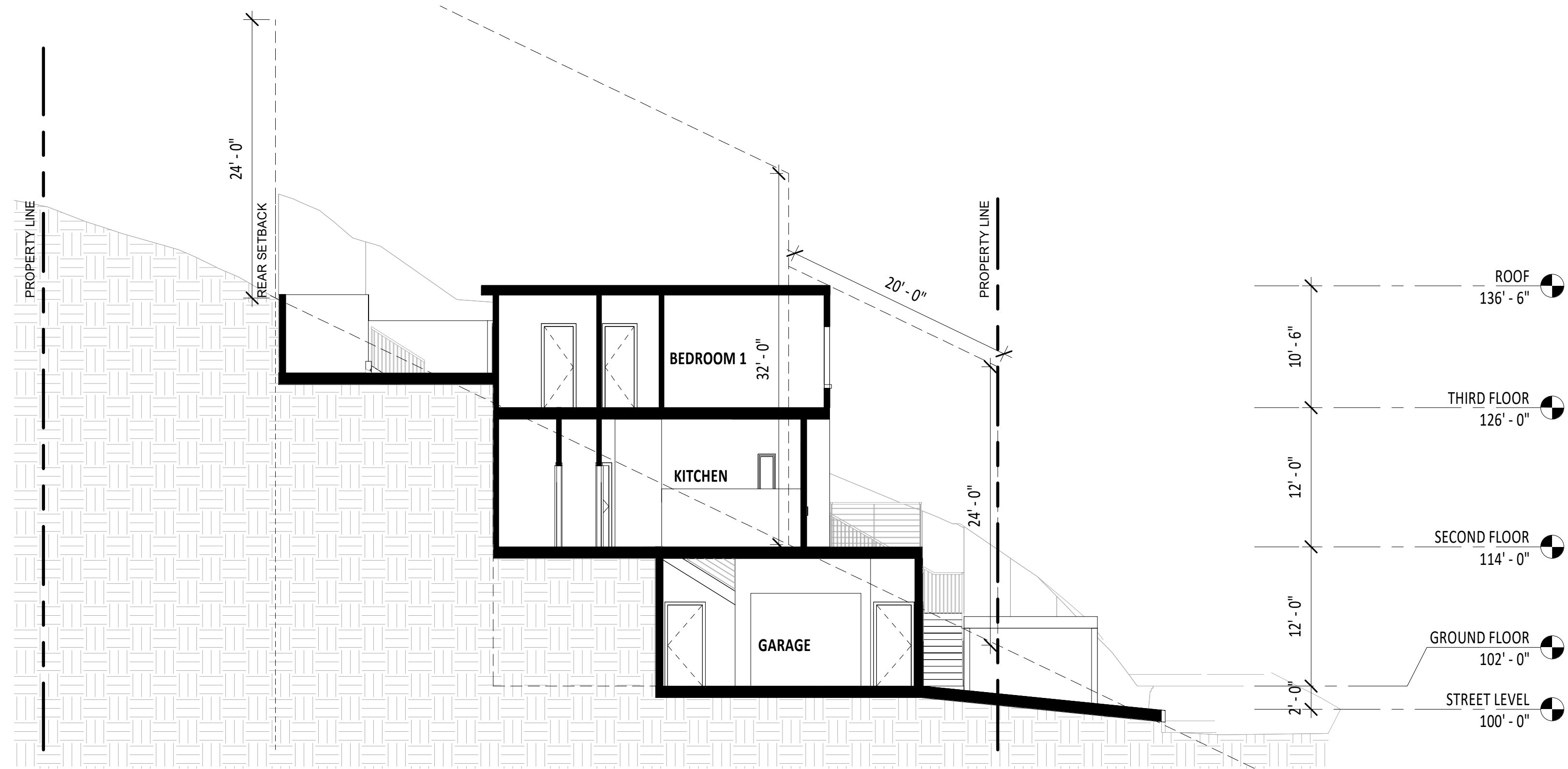
**WINDOWS:**  
MODERN CASE LESS WINDOW  
CLEAR TEMPERED GLASS  
BLACK FRAME AND TRIM

**DOORS:**  
SOLID WOOD DOORS. SIDE LIGHT AT THE MAIN ENTRY DOOR  
SLIDING PATIO DOOR. TEMPERED GLASS. BLACK FINISH  
GLASS DOOR. TEMPERED GLASS. BLACK FINISH  
GARAGE DOOR. BLACK FINISH

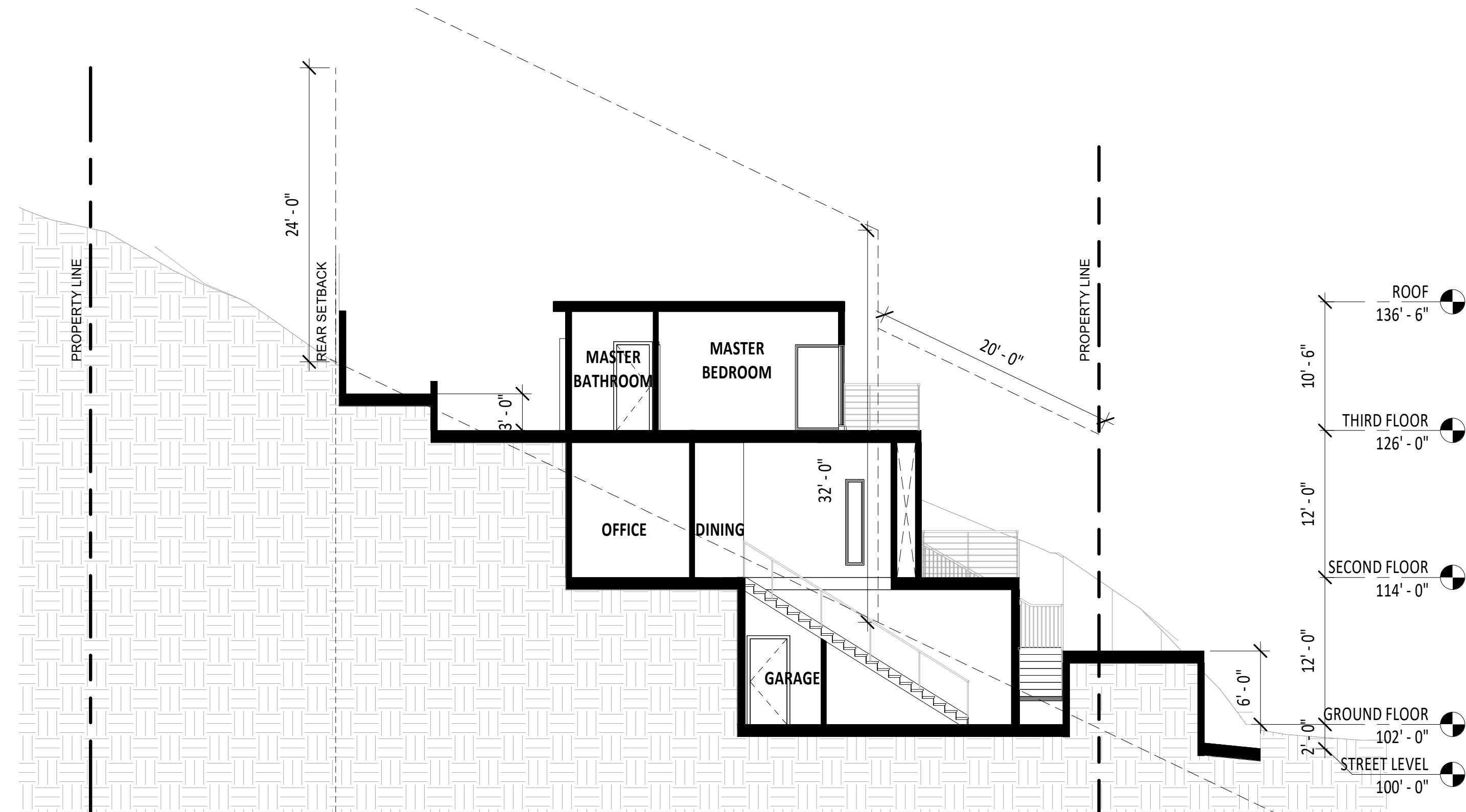
**DECKS AND REILING:**  
DECKS: COMPOSITE ENGINEERED  
DECKING - BAMDECK 3G - SLATE  
RAILING: MODERN CABLE RAILING ALUMINUM & STAINLESS STEEL POSTS. BLACK FINISH

**STAIRS:**  
EXTERIOR CONCRETE STAIRS

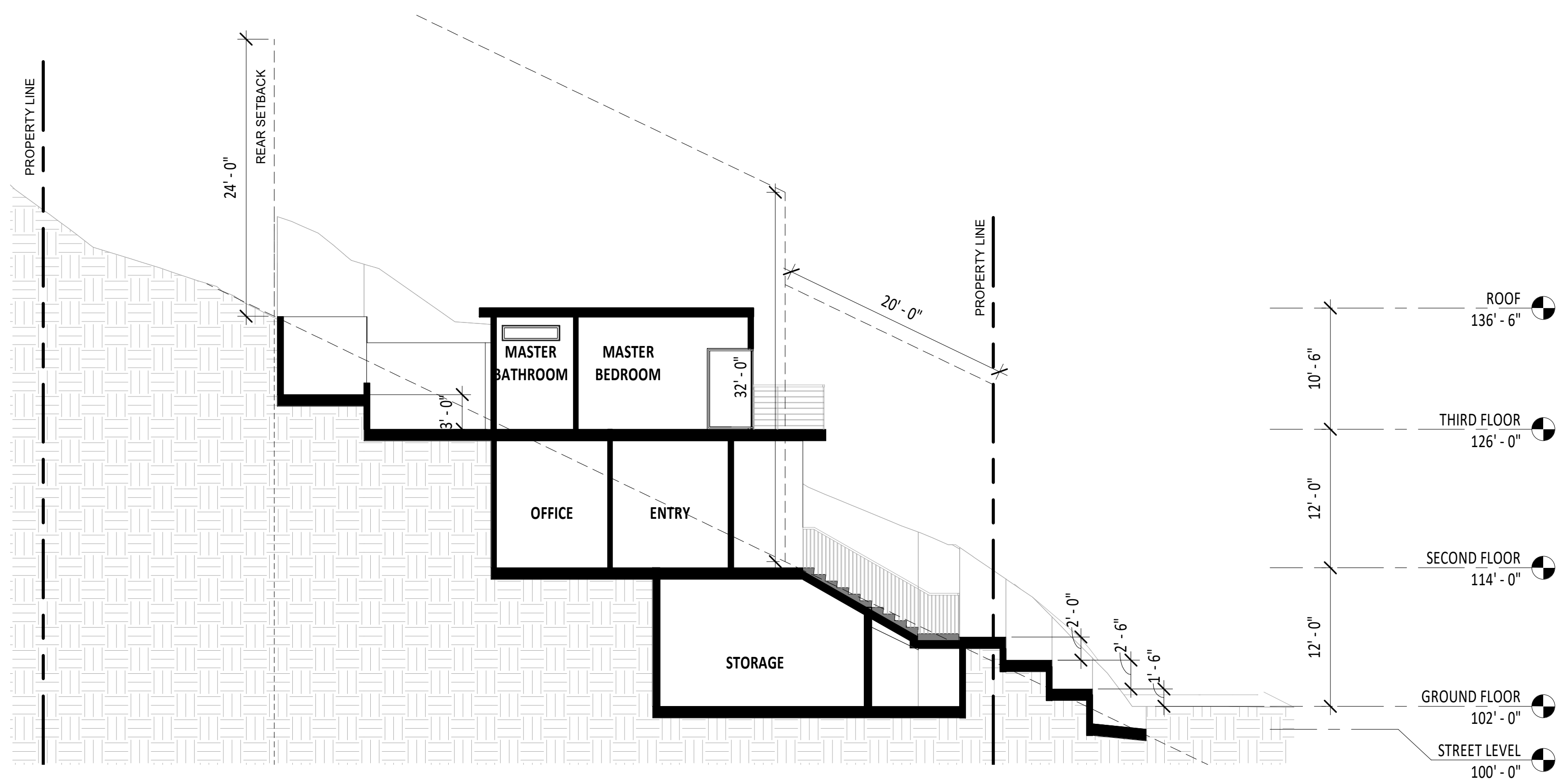




1 Section 1  
1/8" = 1'-0"



2 Section 2  
1/8" = 1'-0"



3 Section 3  
1/8" = 1'-0"

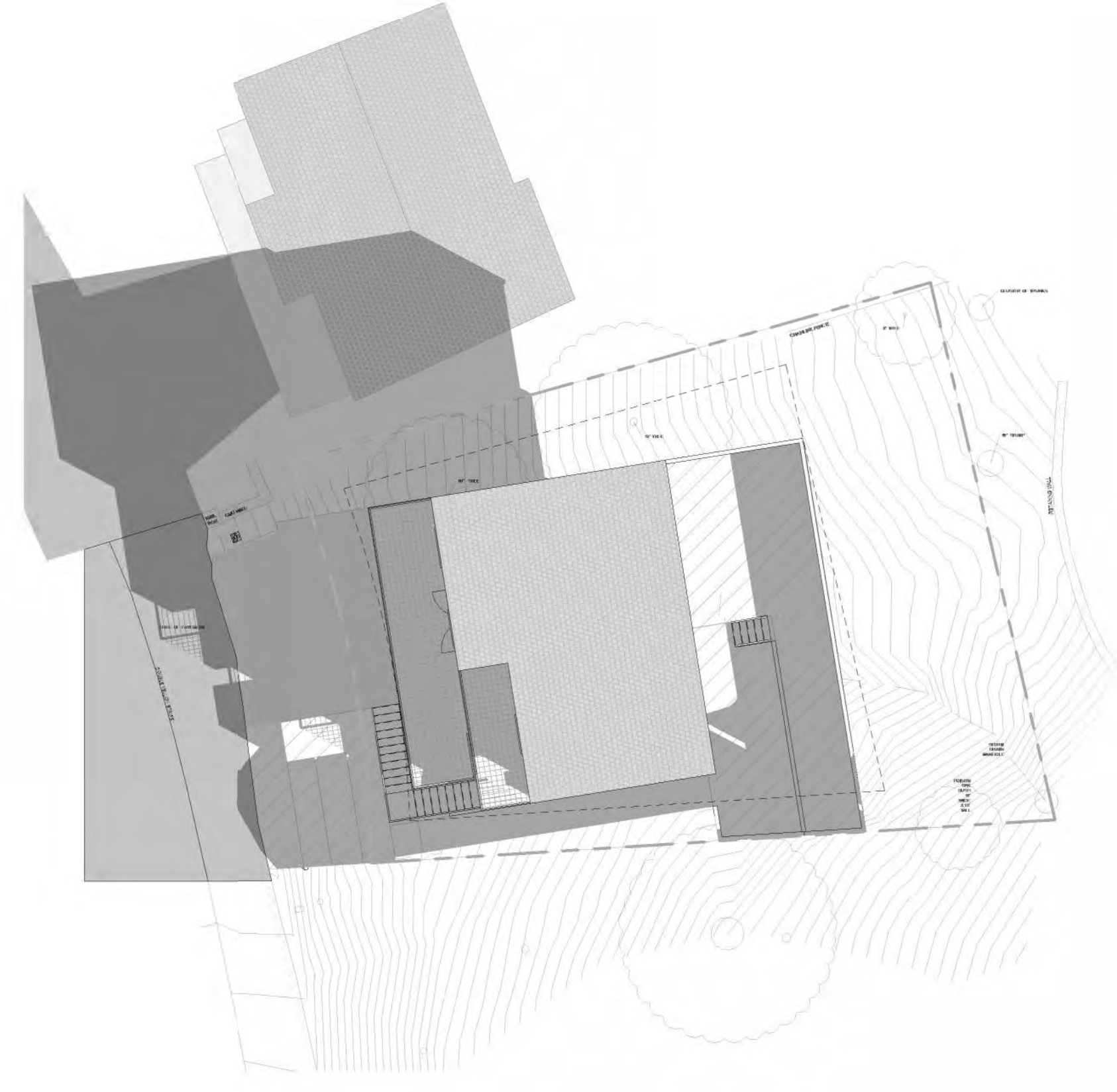
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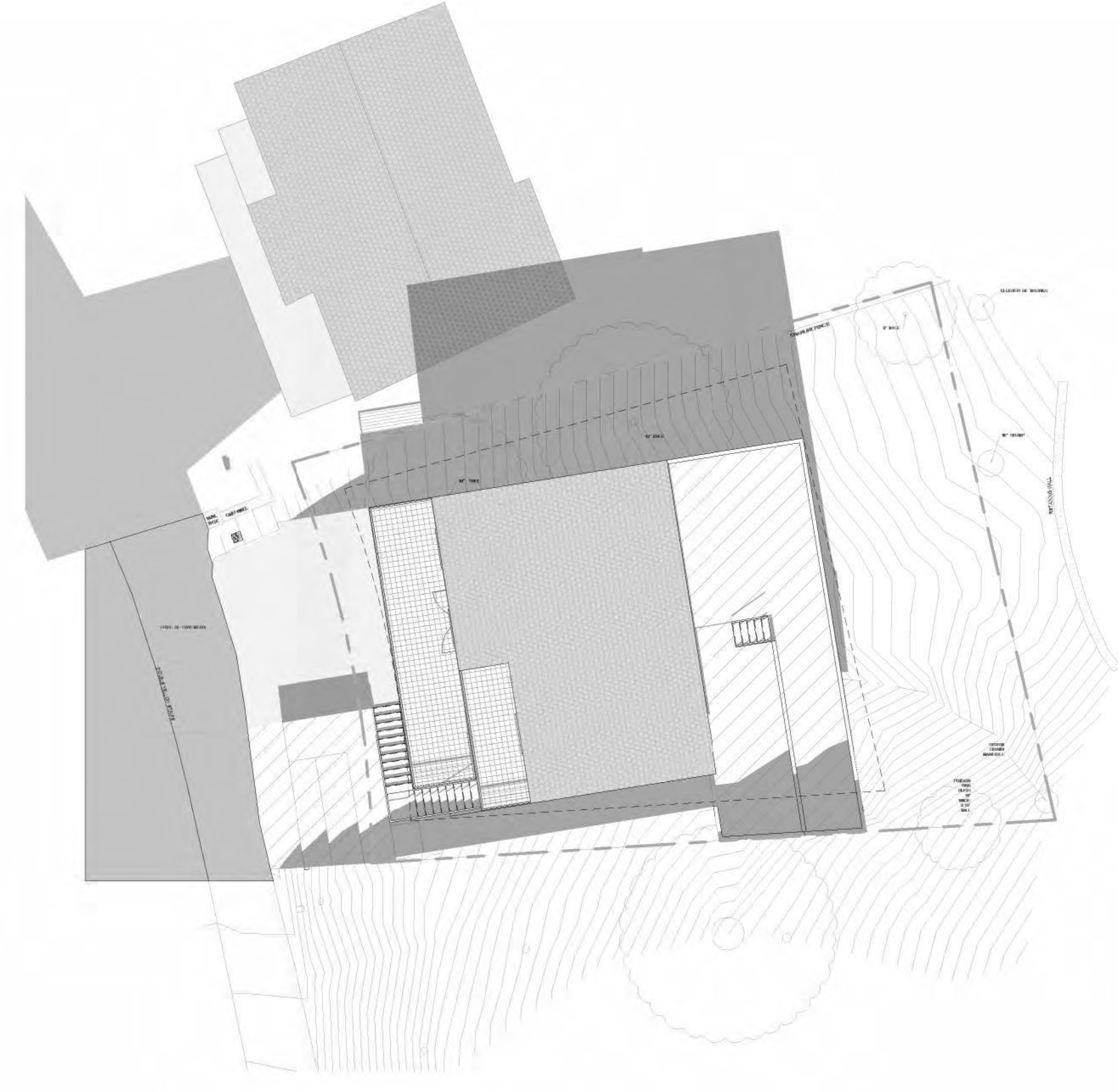
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 YW

# BUILDING SECTIONS

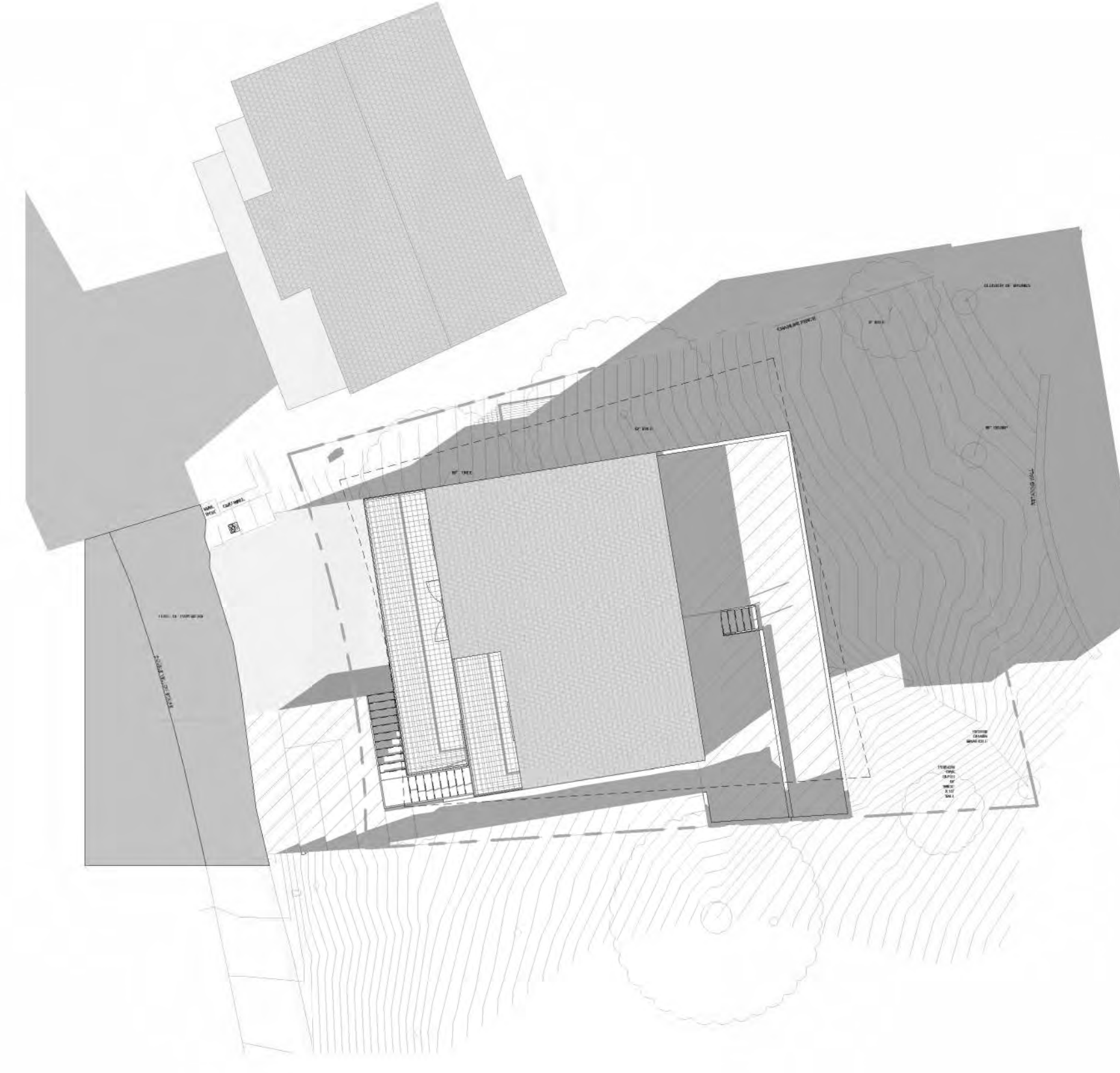
# A2.2



① Mar. 21 9am  
1/16" = 1'-0"



② Mar. 21 12pm  
1/16" = 1'-0"



③ Mar. 21 3pm



**3D VIEWS**  
**A4.1**

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# 3D VIEWS

## A4.2

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